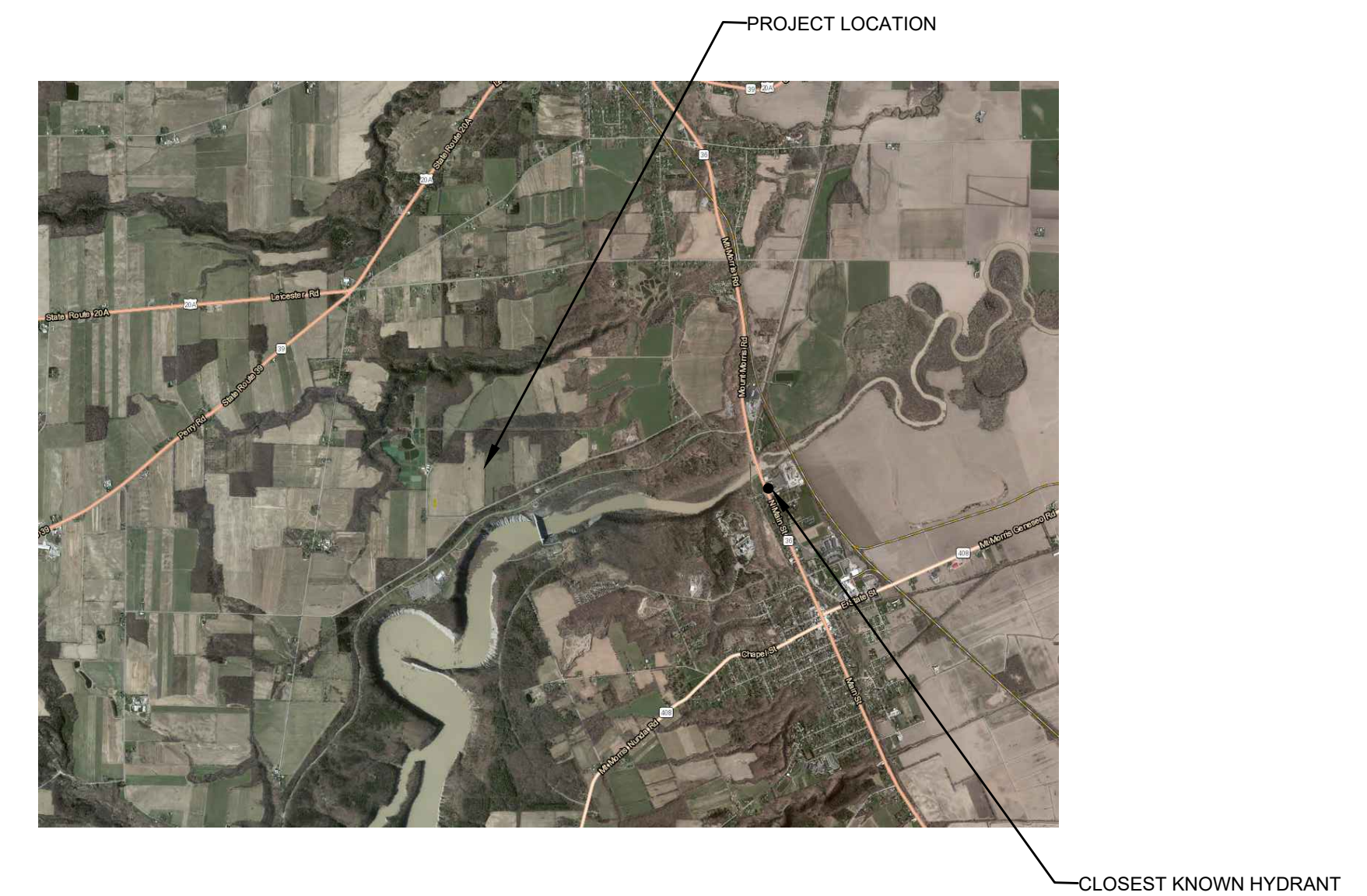


HIGHBANKS SOLAR PROJECT

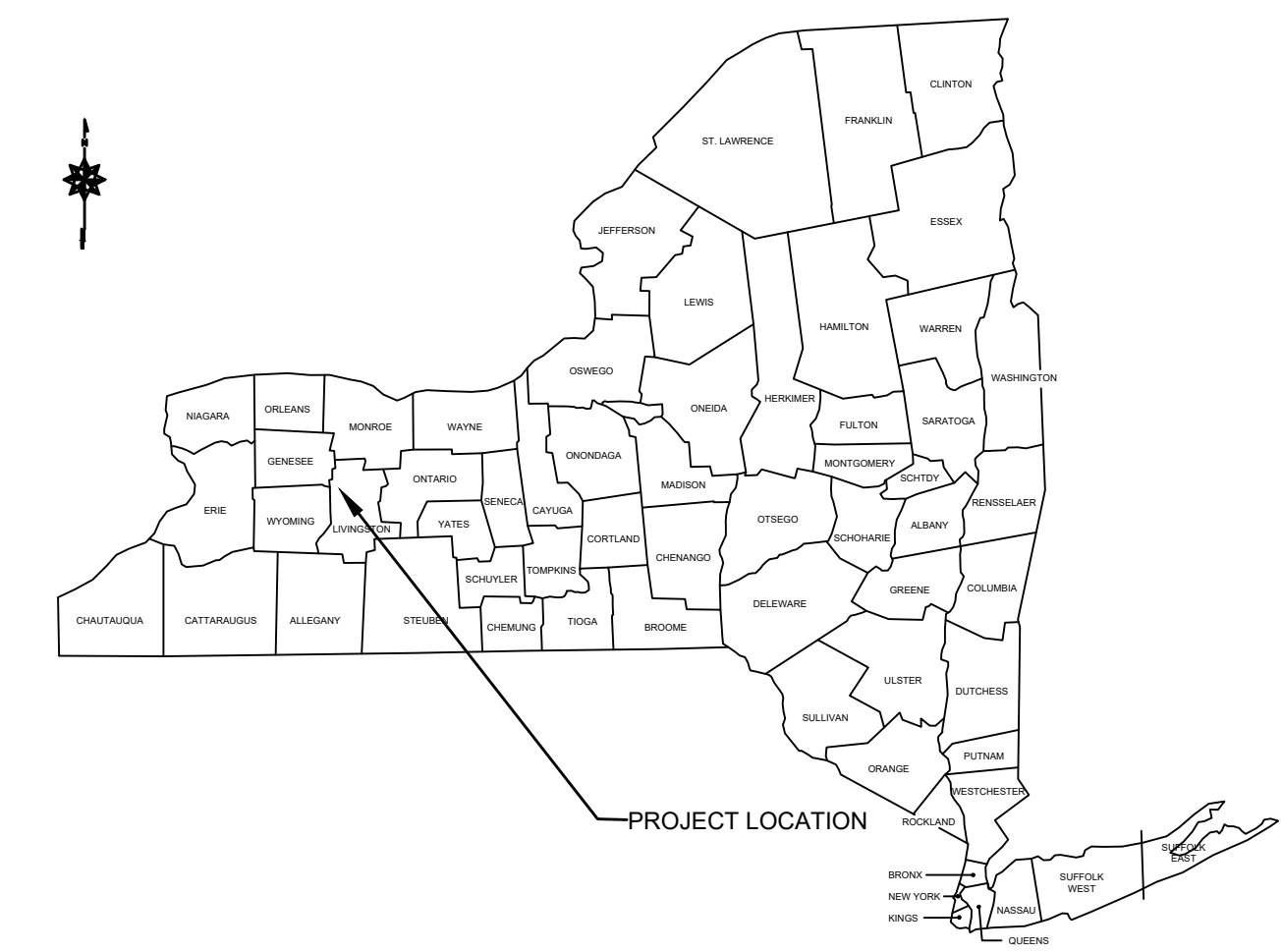
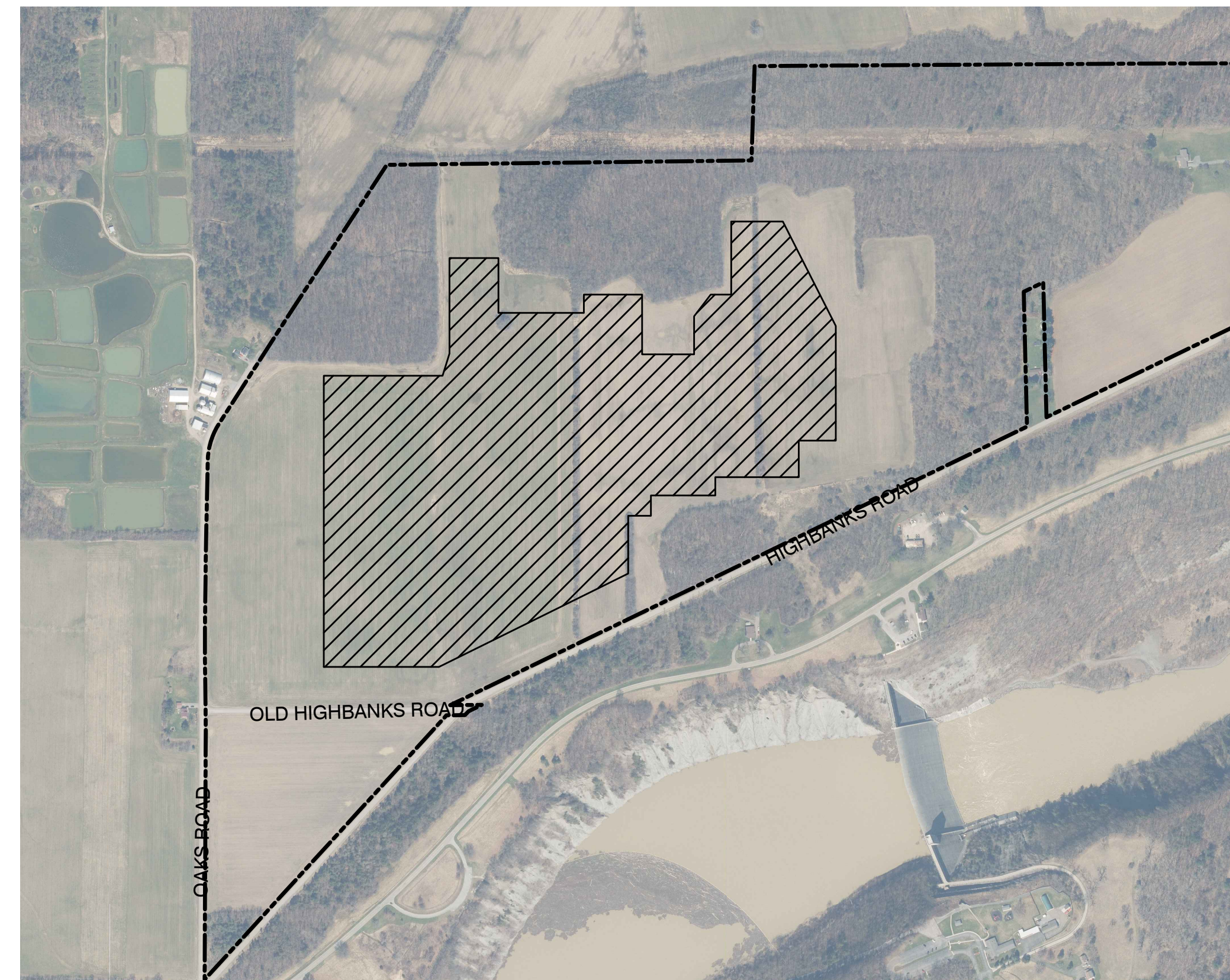
HIGHBANKS SOLAR, LLC

12.5 MW AC (18.9 MW DC)

TOWN OF LEICESTER, LIVINGSTON COUNTY, NY



SHEET INDEX			
SHEET #	SHEET TITLE	DATED	REVISION DATE
--	COVER	6/19/2024	
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C2.0	OVERALL IMPROVEMENT PLAN	6/19/2024	
C2.1	SITE PLAN	6/19/2024	
C2.2	SITE PLAN	6/19/2024	
C2.3	SITE PLAN	6/19/2024	
C2.4	SITE PLAN	6/19/2024	
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C3.0	OVERALL GRADING AND UTILITY PLAN	6/19/2024	
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C4.1	EROSION AND SEDIMENT CONTROL PLAN	6/19/2024	
C4.2	EROSION AND SEDIMENT CONTROL PLAN	6/19/2024	
C4.3	EROSION AND SEDIMENT CONTROL PLAN	6/19/2024	
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C4.5	EROSION AND SEDIMENT CONTROL PLAN	6/19/2024	
C4.6	EROSION AND SEDIMENT CONTROL PLAN	6/19/2024	
C5.0	SITE VEGETATION AND HABITAT PLAN	6/19/2024	
C6.0	SITE DETAILS	6/19/2024	
C6.1	SITE DETAILS	6/19/2024	
C7.0	DECOMMISSIONING PLAN	6/19/2024	
C7.1	DECOMMISSIONING PLAN	6/19/2024	



LOCATION MAPS

TOWN ENGINEER _____ DATE _____

PLANNING BOARD CHAIRMAN _____ DATE _____

JUNE 19, 2024
HUNT NO. 3576.001

THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF - THESE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE BUILDING CODE, FIRE CODE, AND ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

APPLICANT INFORMATION:

HIGHBANKS SOLAR, LLC
ATTN: STEVE ONDISHIN
110 EDISON PLACE SUITE 312
NEWARK, NJ 07102

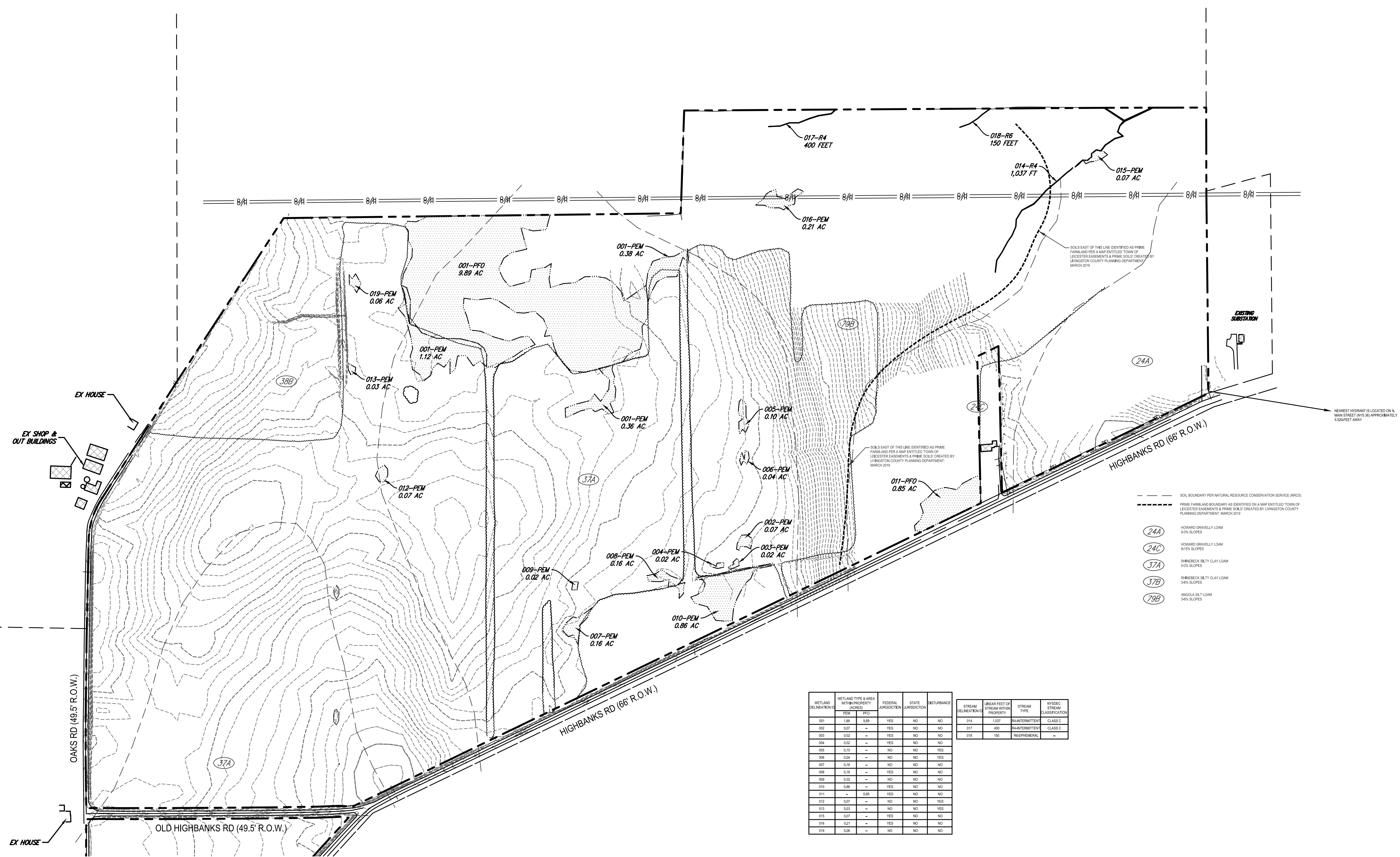
PROJECT LOCATION

2449 HIGHBANKS ROAD
TOWN OF LEICESTER
LIVINGSTON COUNTY
NEW YORK
TAX ID: 105-1-8.11

HUNT ENGINEERS | ARCHITECTS | SURVEYORS

4 Commercial Street, Suite 300, Rochester, NY 14614 P: 585-327-7950 F: 585-327-7949

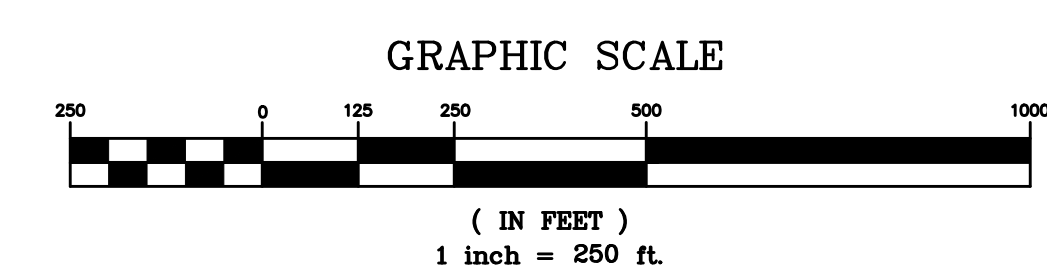
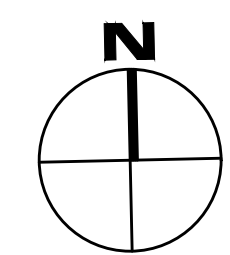
Offices: Horseheads | Rochester | Towanda | Binghamton | Albany



WETLAND DELINEATION	WETLAND TYPE ACRAGE	FEDERAL JURISDICTION	STATE JURISDICTION	RESTURANCE	
001	1.86	839	YES	NO	NO
002	0.07	-	YES	NO	NO
003	0.02	-	YES	NO	NO
004	0.02	-	YES	NO	NO
005	0.10	-	NO	NO	YES
006	0.04	-	NO	NO	YES
007	0.16	-	NO	NO	NO
008	0.16	-	YES	NO	NO
009	0.02	-	NO	NO	NO
010	0.06	-	YES	NO	NO
011	-	839	YES	NO	NO
012	0.02	-	NO	NO	YES
013	0.03	-	NO	NO	YES
014	0.07	-	YES	NO	NO
015	0.07	-	YES	NO	NO
016	0.21	-	YES	NO	NO
017	0.38	-	NO	NO	NO

STREAM DELINEATION	LENGTH FEET OF STREAM WITHIN PROPERTY	STREAM TYPE	WYSECC STREAM CLASSIFICATION
014	1,037	PERMANENT	CLASS C
015	400	PERMANENT	CLASS C
016	100	PERMANENT	-

- SOIL BOUNDARY PER NATURAL RESOURCE CONSERVATION SERVICE (NRCS)
- PRIME FARMLAND BOUNDARY AS IDENTIFIED ON A MAP DOTTLED TOWN OF LEICESTER EASEMENTS & PRIME SOILS CREATED BY LIVINGSTON COUNTY PLANNING DEPARTMENT MARCH 2019
- (24A) HOWARD GRAVELLY LOAM 80% SLOPES
- (24C) HOWARD GRAVELLY LOAM 84% SLOPES
- (37A) RINEBECK SILTY CLAY LOAM 80% SLOPES
- (37B) RINEBECK SILTY CLAY LOAM 84% SLOPES
- (79B) ARGOLA SILT LOAM 84% SLOPES



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CHECKED BY:
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PHASE:

#	DATE	DESCRIPTION OF REVISION

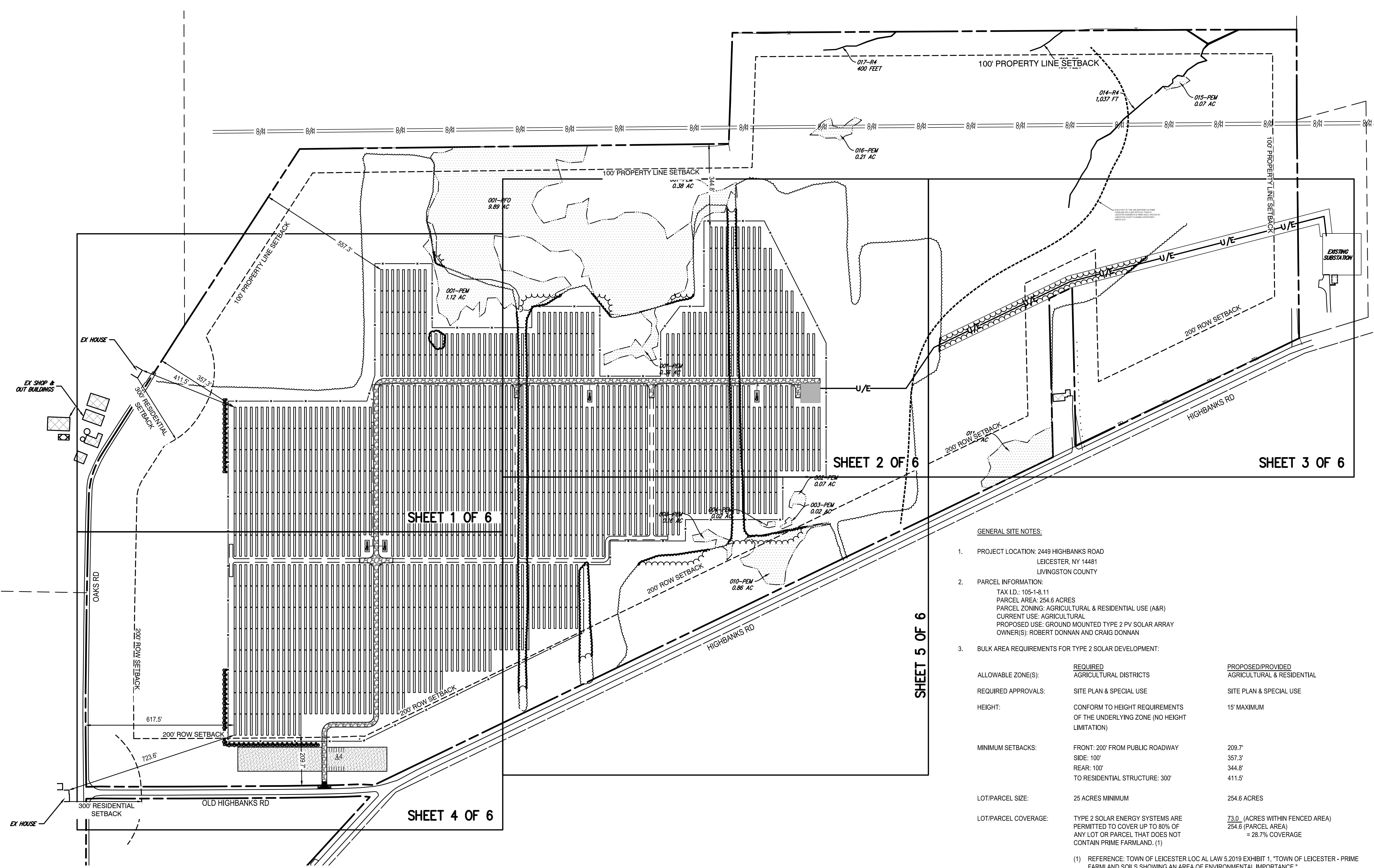
HUNT ENGINEERS | ARCHITECTS | SURVEYORS
 HORSEHEADS, NY 807 - 5958 - 1000 ROCHESTER, NY 655 - 327 - 7950
 TOWNSEND, NY 807 - 267 - 6800 ELICUI, NY 607 - 881 - 6861
 ALBANY, NY 807 - 788 - 8081 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC2203131464-1

EXISTING CONDITIONS
 HIGHBANKS SOLAR DEVELOPMENT
 HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

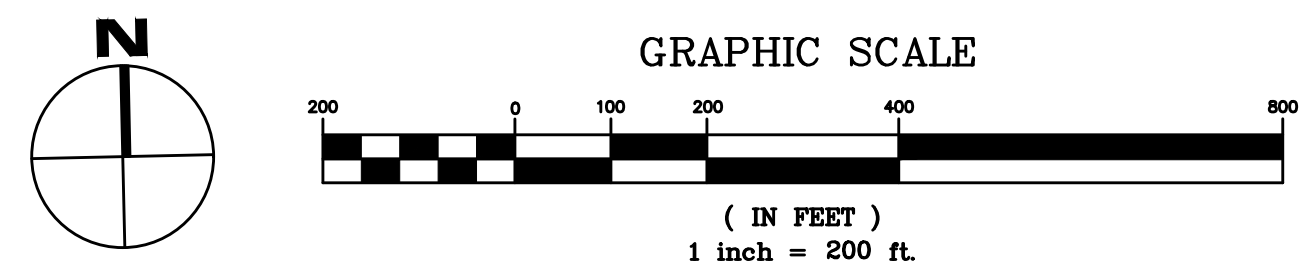
C1.0
 PROJECT NO: 3576-001

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- SEED MIX
- PERMANENT SEEDING WITHIN FENCED AREA SHALL BE ERNST NATIVE/NATURALIZED SOLAR FARM SEED MIX OR APPROVED EQUAL.
 - PERMANENT SEEDING OUTSIDE FENCED AREA SHALL BE ERNST 5311 CONSERVATION MIX OR APPROVED EQUAL.
 - PERMANENT SEEDING FROM PROJECT SUBSTATION TO OFFSITE SUBSTATION SHALL BE ERNST RIGHT-OF-WAY NATIVE WOODS MIX W/ ANNUAL RYEGRASS OR APPROVED EQUAL.



GENERAL SITE NOTES:

- PROJECT LOCATION: 2449 HIGHBANKS ROAD
LEICESTER, NY 14481
LIVINGSTON COUNTY
- PARCEL INFORMATION:
TAX I.D.: 105-1-8.11
PARCEL AREA: 254.6 ACRES
PARCEL ZONING: AGRICULTURAL & RESIDENTIAL USE (A&R)
CURRENT USE: AGRICULTURAL
PROPOSED USE: GROUND MOUNTED TYPE 2 PV SOLAR ARRAY
OWNER(S): ROBERT DONNAN AND CRAIG DONNAN

3. BULK AREA REQUIREMENTS FOR TYPE 2 SOLAR DEVELOPMENT:

ALLOWABLE ZONE(S):	REQUIRED AGRICULTURAL DISTRICTS	PROPOSED/PROVIDED AGRICULTURAL & RESIDENTIAL
REQUIRED APPROVALS:	SITE PLAN & SPECIAL USE	SITE PLAN & SPECIAL USE
HEIGHT:	CONFORM TO HEIGHT REQUIREMENTS OF THE UNDERLYING ZONE (NO HEIGHT LIMITATION)	15' MAXIMUM
MINIMUM SETBACKS:	FRONT: 200' FROM PUBLIC ROADWAY SIDE: 100' REAR: 100' TO RESIDENTIAL STRUCTURE: 300'	209.7' 357.3' 344.8' 411.5'
LOT/PARCEL SIZE:	25 ACRES MINIMUM	254.6 ACRES
LOT/PARCEL COVERAGE:	TYPE 2 SOLAR ENERGY SYSTEMS ARE PERMITTED TO COVER UP TO 80% OF ANY LOT OR PARCEL THAT DOES NOT CONTAIN PRIME FARMLAND. (1)	73.0 (ACRES WITHIN FENCED AREA) 254.6 (PARCEL AREA) = 28.7% COVERAGE

(1) REFERENCE: TOWN OF LEICESTER LOCAL LAW 5.2019 EXHIBIT 1, "TOWN OF LEICESTER - PRIME FARMLAND SOILS SHOWING AN AREA OF ENVIRONMENTAL IMPORTANCE."

4. OTHER SPECIAL USE PERMIT CONSIDERATIONS:

FENCING & SCREENING:	SYSTEM TO BE ENCLOSED BY FENCING AND PROVIDE ENHANCED SCREENING & ADJACENT TO RESIDENTIALLY ZONED AREAS OR ABOUT A PUBLIC ROAD.	SYSTEM IS ENCLOSED ENTIRELY BY FENCING AND VEGETATIVE SCREENING IS PROPOSED IN THE PROXIMITY OF THE ADJACENT RESIDENTIAL PROPERTIES.
VEGETATION & HABITAT:	TYPE 2 SOLAR ENERGY SYSTEM SHALL DEVELOP, IMPLEMENT AND MAINTAIN NATIVE VEGETATION TO THE EXTENT PRACTICABLE PURSUANT TO A VEGETATION MANAGEMENT PLAN.	A POLLINATOR SEED MIX HAS BEEN SPECIFIED FOR SITE RESTORATION AND VEGETATIVE SCREENING HAS BEEN UTILIZED AT STRATEGIC LOCATIONS TO PROVIDE SCREENING FROM RESIDENTIAL PROPERTIES.

PRIME FARMLAND BOUNDARY AS IDENTIFIED ON A MAP ENTITLED "TOWN OF LEICESTER EASEMENTS & PRIME SOILS" CREATED BY LIVINGSTON COUNTY PLANNING DEPARTMENT, MARCH 2019

DRAWN BY:
CHECKED BY:
DATE: JUNE 19, 2024
PHASE:

#	DATE:	DESCRIPTION OF REVISION:

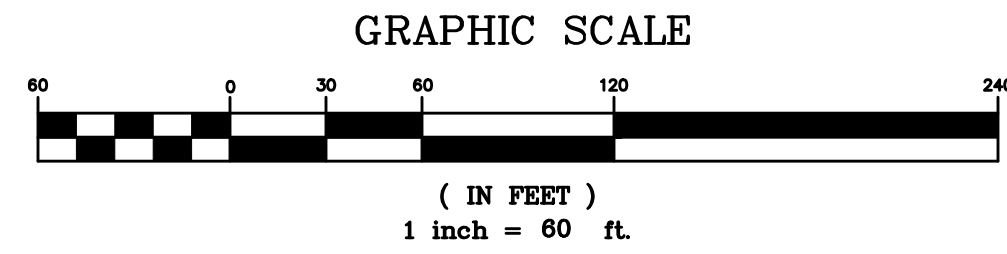
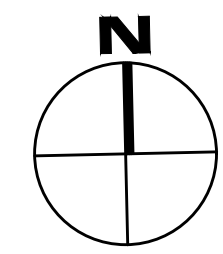
HUNT ENGINEERS | ARCHITECTS | SURVEYORS
 HORSEHEADS, NY 607-368-1000 ROCHESTER, NY 585-327-7950
 TOWANDA, PA 570-265-4888 BINGHAMTON, NY 607-798-8081
 ALBANY, NY 607-798-8081 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0019220 PA CERTIFICATE NO. TSC2203131484-1

OVERALL IMPROVEMENT PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C2.0
 PROJECT NO: 3576-001

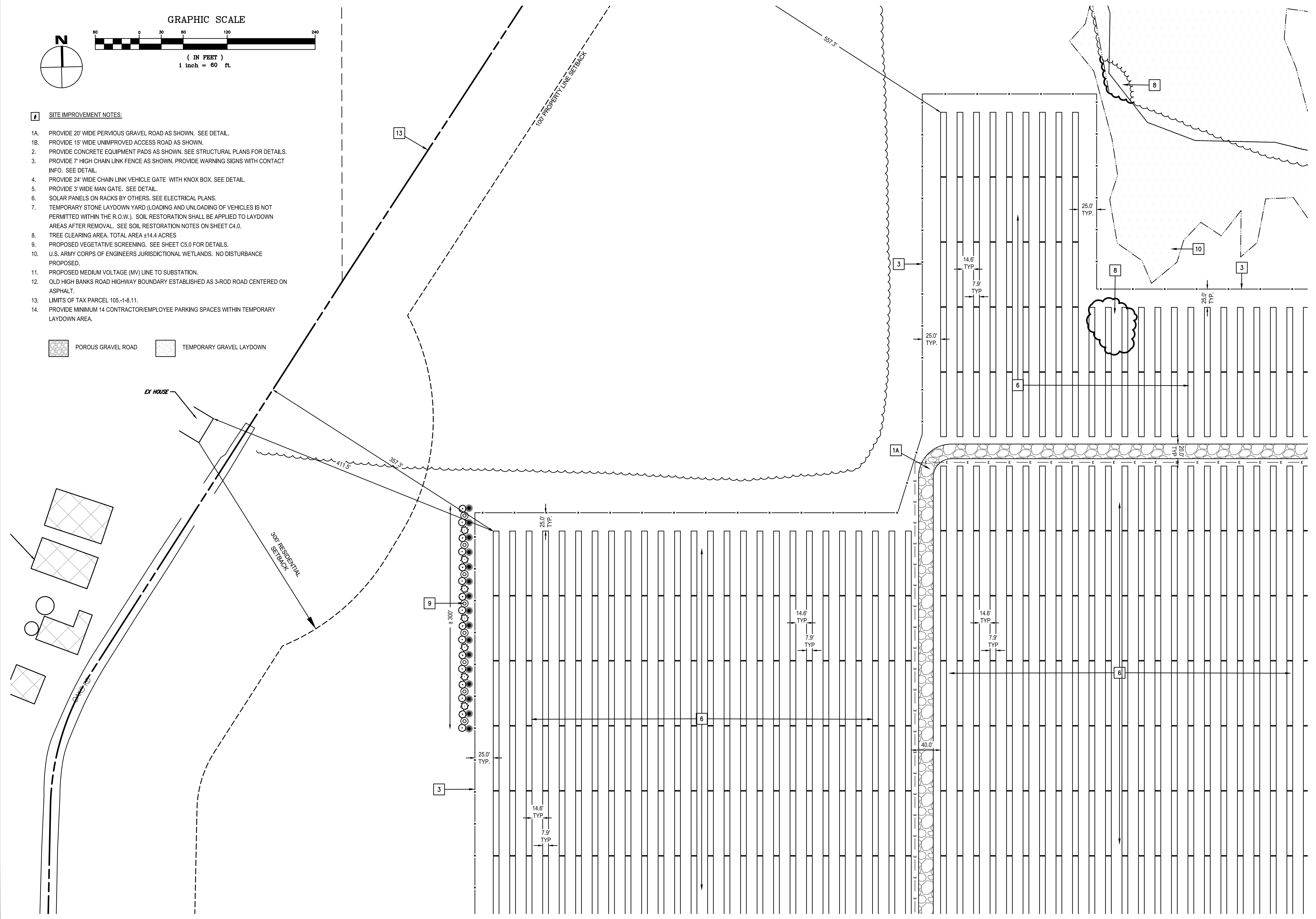
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IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO MAKE UNAUTHORIZED ALTERATIONS OR REVISIONS TO THIS PLAN WITHOUT THE ARCHITECTS OR SURVEYORS SEAL.



f SITE IMPROVEMENT NOTES:

- 1A. PROVIDE 20' WIDE PERVIOUS GRAVEL ROAD AS SHOWN. SEE DETAIL.
- 1B. PROVIDE 15' WIDE UNIMPROVED ACCESS ROAD AS SHOWN.
2. PROVIDE CONCRETE EQUIPMENT PADS AS SHOWN. SEE STRUCTURAL PLANS FOR DETAILS.
3. PROVIDE 7' HIGH CHAIN LINK FENCE AS SHOWN. PROVIDE WARNING SIGNS WITH CONTACT INFO. SEE DETAIL.
4. PROVIDE 24' WIDE CHAIN LINK VEHICLE GATE WITH KNOX BOX. SEE DETAIL.
5. PROVIDE 3' WIDE MAN GATE. SEE DETAIL.
6. SOLAR PANELS ON RACKS BY OTHERS. SEE ELECTRICAL PLANS.
7. TEMPORARY STONE LAYDOWN YARD (LOADING AND UNLOADING OF VEHICLES IS NOT PERMITTED WITHIN THE R.O.W.). SOIL RESTORATION SHALL BE APPLIED TO LAYDOWN AREAS AFTER REMOVAL. SEE SOIL RESTORATION NOTES ON SHEET C4.0.
8. TREE CLEARING AREA. TOTAL AREA ±14.4 ACRES
9. PROPOSED VEGETATIVE SCREENING. SEE SHEET C5.0 FOR DETAILS.
10. U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS. NO DISTURBANCE PROPOSED.
11. PROPOSED MEDIUM VOLTAGE (MV) LINE TO SUBSTATION.
12. OLD HIGH BANKS ROAD HIGHWAY BOUNDARY ESTABLISHED AS 3-ROD ROAD CENTERED ON ASPHALT.
13. LIMITS OF TAX PARCEL 105.-1-8.11.
14. PROVIDE MINIMUM 14 CONTRACTOR/EMPLOYEE PARKING SPACES WITHIN TEMPORARY LAYDOWN AREA.



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CHECKED BY:	
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PHASE:	
#	DESCRIPTION OF REVISION:

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 TOWNSEND, NY 662-686-1000 BIRCHVILLE, NY 716-787-8861
 ALBANY, NY 807-788-8088 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC2203131484-1

SITE PLAN

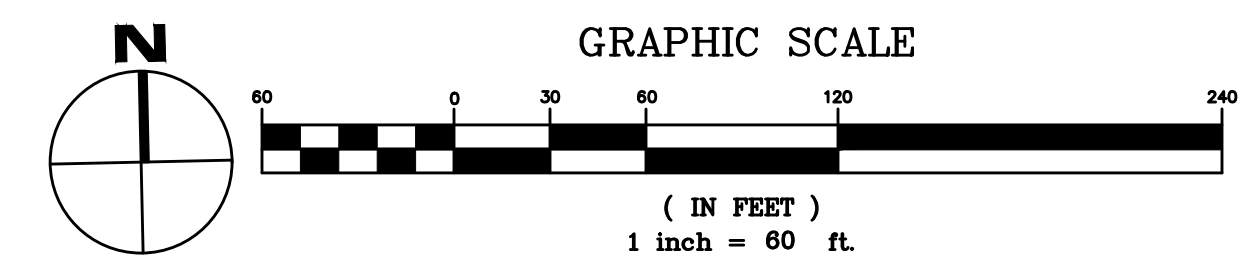
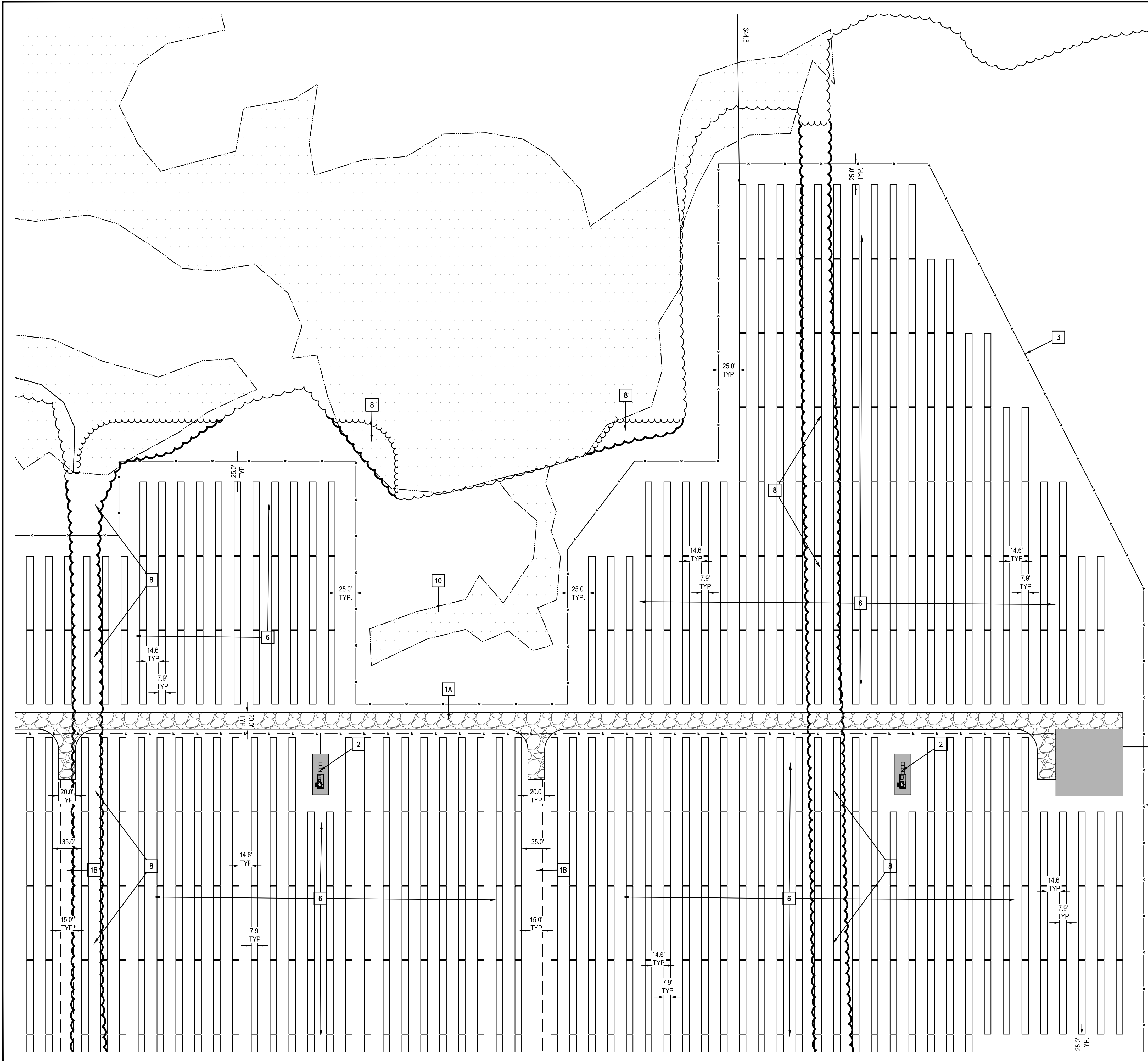
HIGHBANKS SOLAR DEVELOPMENT

HIGHBANKS SOLAR, LLC

2449 Highbanks Road, Town of Leicester, Livingston County, New York

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- 1** SITE IMPROVEMENT NOTES:
- 1A. PROVIDE 20' WIDE PERVIOUS GRAVEL ROAD AS SHOWN. SEE DETAIL.
 - 1B. PROVIDE 15' WIDE UNIMPROVED ACCESS ROAD AS SHOWN.
 2. PROVIDE CONCRETE EQUIPMENT PADS AS SHOWN. SEE STRUCTURAL PLANS FOR DETAILS.
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 7. TEMPORARY STONE LAYDOWN YARD (LOADING AND UNLOADING OF VEHICLES IS NOT PERMITTED WITHIN THE R.O.W.). SOIL RESTORATION SHALL BE APPLIED TO LAYDOWN AREAS AFTER REMOVAL. SEE SOIL RESTORATION NOTES ON SHEET C4.0.
 8. TREE CLEARING AREA. TOTAL AREA ±14.4 ACRES
 9. PROPOSED VEGETATIVE SCREENING. SEE SHEET C5.0 FOR DETAILS.
 10. U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS. NO DISTURBANCE PROPOSED.
 11. PROPOSED MEDIUM VOLTAGE (MV) LINE TO SUBSTATION.
 12. OLD HIGH BANKS ROAD HIGHWAY BOUNDARY ESTABLISHED AS 3-ROD ROAD CENTERED ON ASPHALT.
 13. LIMITS OF TAX PARCEL 105-1-8.11.
 14. PROVIDE MINIMUM 14 CONTRACTOR/EMPLOYEE PARKING SPACES WITHIN TEMPORARY LAYDOWN AREA.



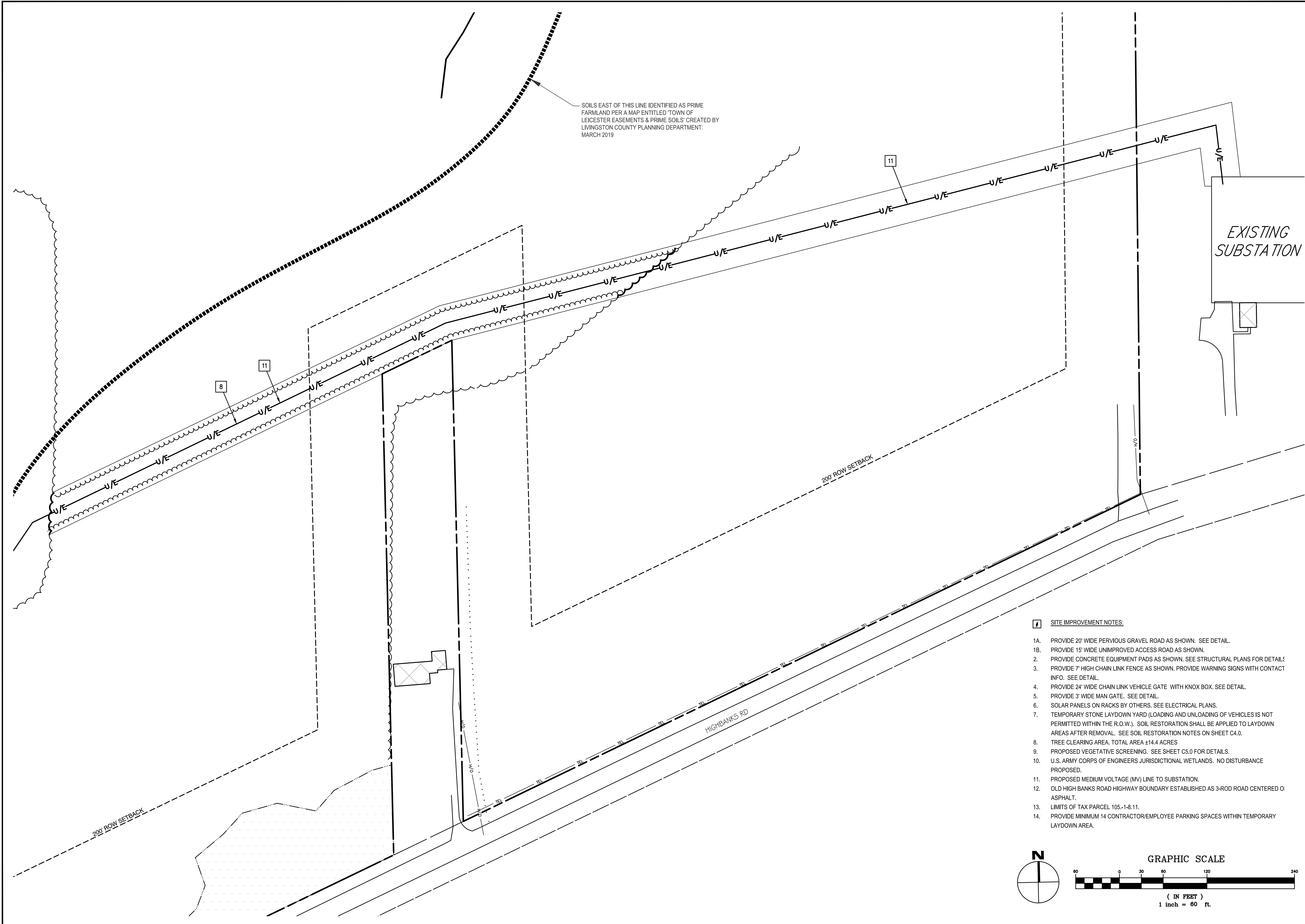
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 HORSEHEADS, NY 807 - 595-1000 ROCHESTER, NY 695-327-7990
 TOWNSEND, NY 695-169-7800
 ALBANY, NY 807-798-8081 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC2203131484-1
 ARCHITECTS OR SURVEYORS SEAL

SITE PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C2.2
 PROJECT NO: 3576-001

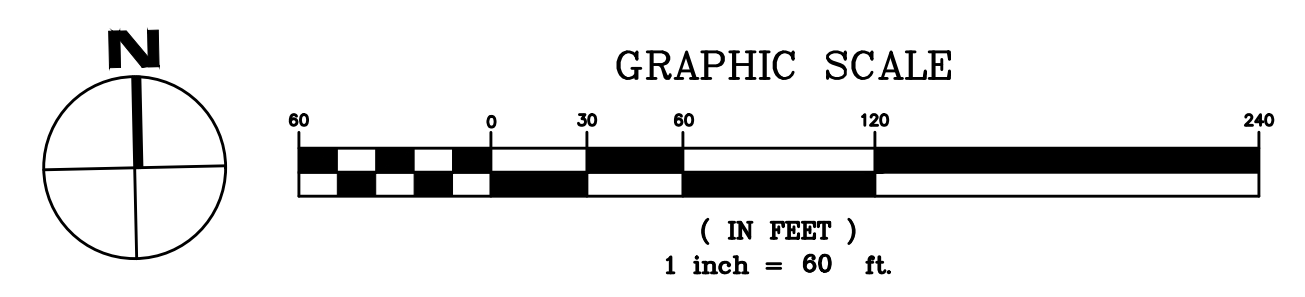
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SOILS EAST OF THIS LINE IDENTIFIED AS PRIME FARMLAND PER A MAP ENTITLED TOWN OF LEICESTER EASEMENTS & PRIME SOILS CREATED BY LIVINGSTON COUNTY PLANNING DEPARTMENT: MARCH 2019

EXISTING SUBSTATION

- 1** SITE IMPROVEMENT NOTES:
- 1A. PROVIDE 20' WIDE PERVIOUS GRAVEL ROAD AS SHOWN. SEE DETAIL.
 - 1B. PROVIDE 15' WIDE UNIMPROVED ACCESS ROAD AS SHOWN.
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 12. OLD HIGH BANKS ROAD HIGHWAY BOUNDARY ESTABLISHED AS 3-ROD ROAD CENTERED ON ASPHALT.
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 14. PROVIDE MINIMUM 14 CONTRACTOR/EMPLOYEE PARKING SPACES WITHIN TEMPORARY LAYDOWN AREA.



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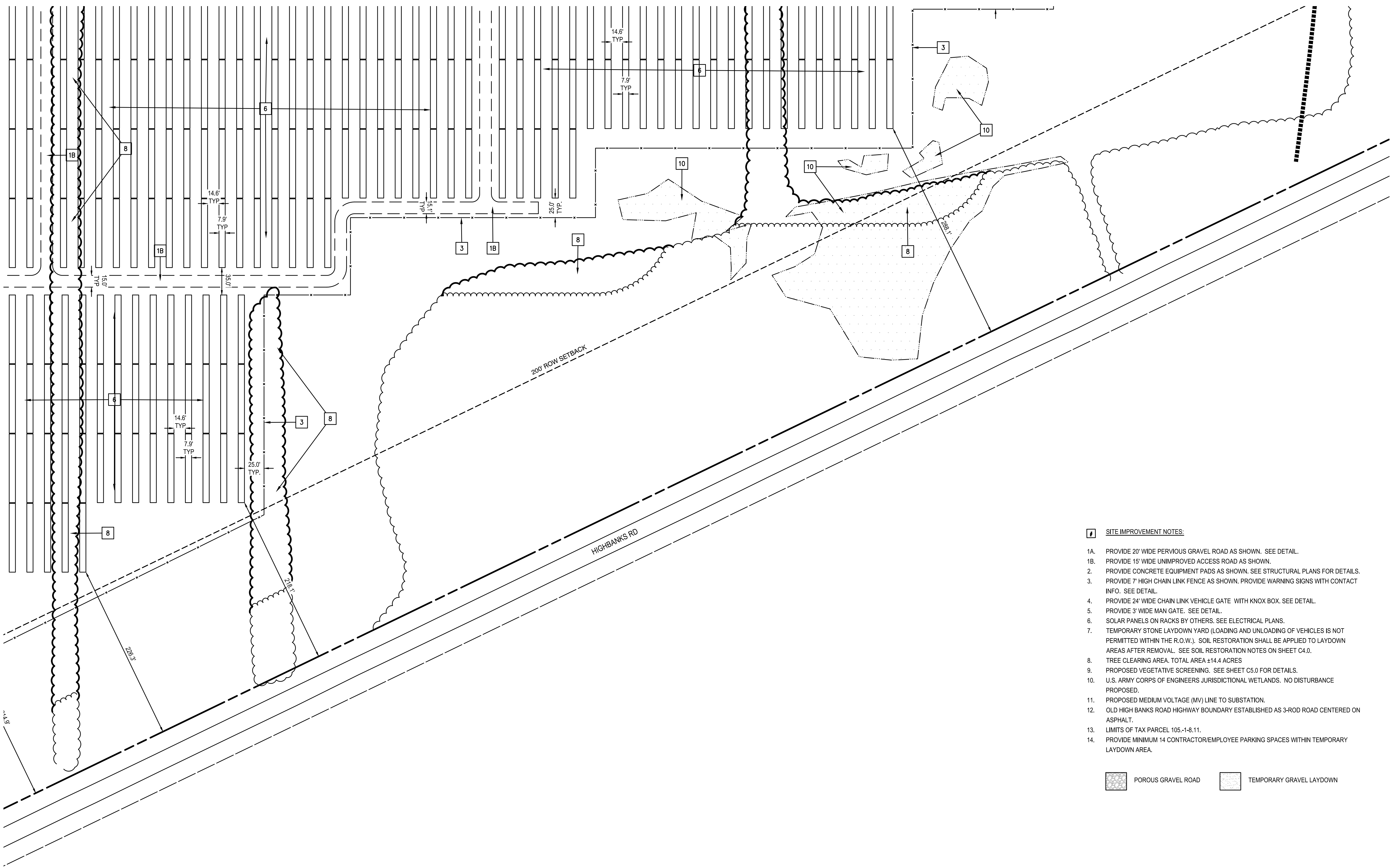
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 TOWNSEND, NY 662 - 669 - 1600 ELIZABETH, NY 716 - 661 - 8861
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 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC22203131484-1

SITE PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C2.3
 PROJECT NO: 3576-001

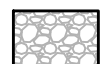

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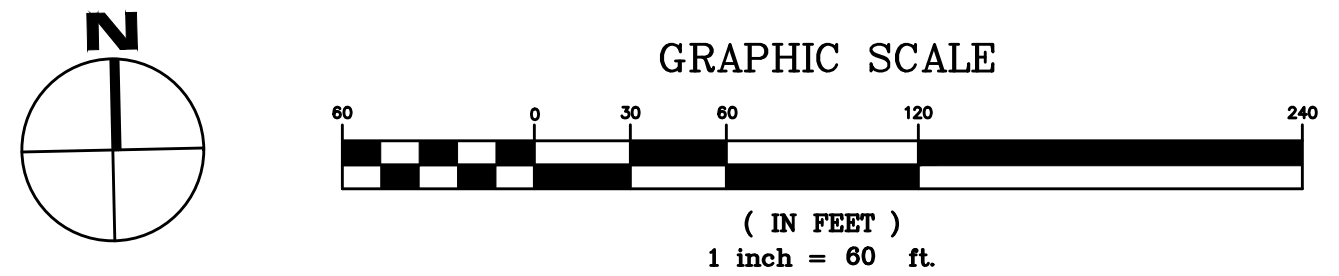
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1 SITE IMPROVEMENT NOTES:

- 1A. PROVIDE 20' WIDE PERVIOUS GRAVEL ROAD AS SHOWN. SEE DETAIL.
- 1B. PROVIDE 15' WIDE UNIMPROVED ACCESS ROAD AS SHOWN.
2. PROVIDE CONCRETE EQUIPMENT PADS AS SHOWN. SEE STRUCTURAL PLANS FOR DETAILS.
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11. PROPOSED MEDIUM VOLTAGE (MV) LINE TO SUBSTATION.
12. OLD HIGH BANKS ROAD HIGHWAY BOUNDARY ESTABLISHED AS 3-ROD ROAD CENTERED ON ASPHALT.
13. LIMITS OF TAX PARCEL 105.-1-8.11.
14. PROVIDE MINIMUM 14 CONTRACTOR/EMPLOYEE PARKING SPACES WITHIN TEMPORARY LAYDOWN AREA.

 POROUS GRAVEL ROAD
  TEMPORARY GRAVEL LAYDOWN



DRAWN BY:
 CHECKED BY:
 DATE: JUNE 19, 2024
 PHASE:

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 TOWNSEND, NY 867 - 657 - 1682 ELIZABETH, NJ 908 - 486 - 8861
 ALBANY, NY 807 - 788 - 7882 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC2203131484-1

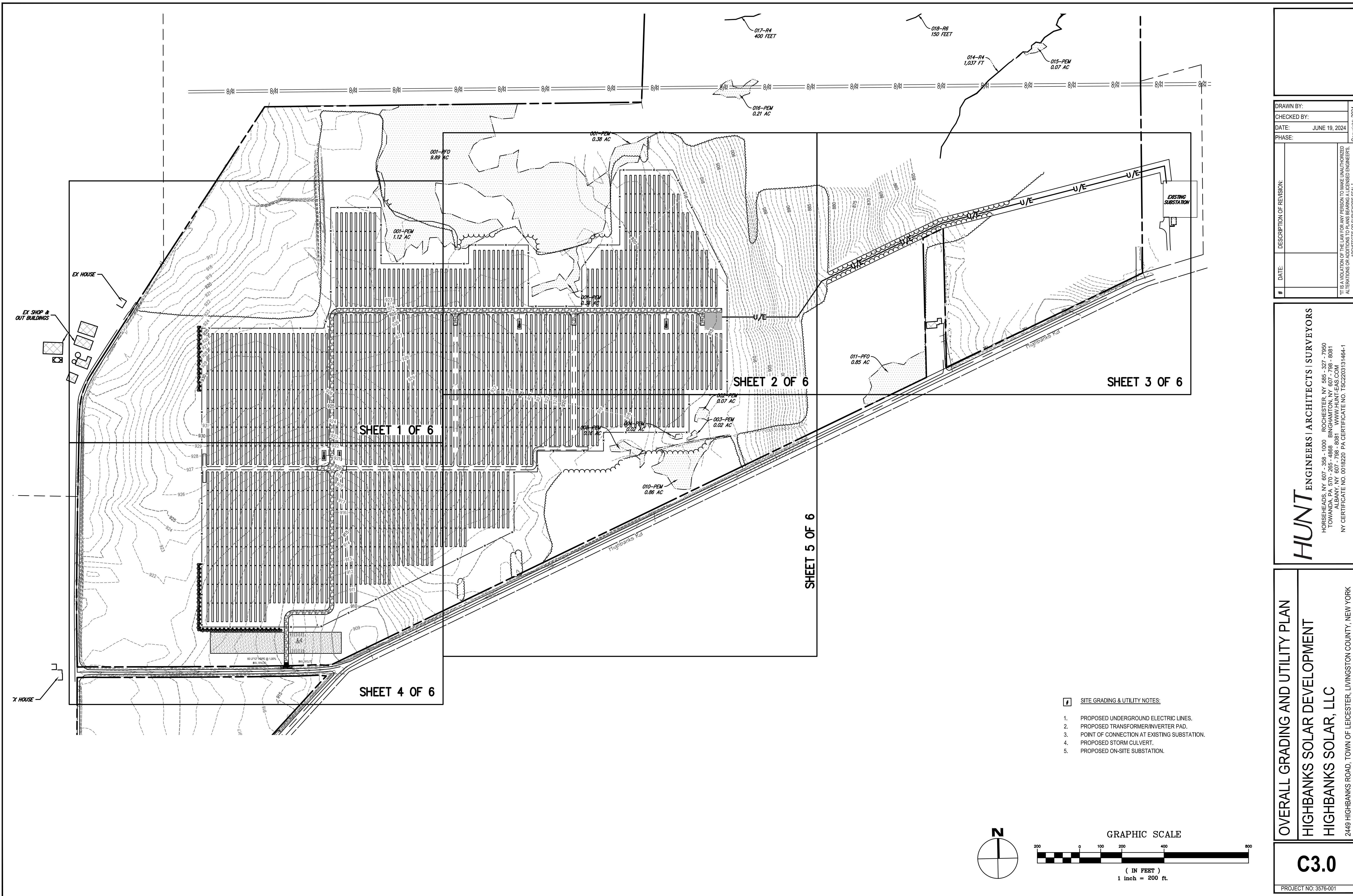
SITE PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C2.5

PROJECT NO: 3576-001

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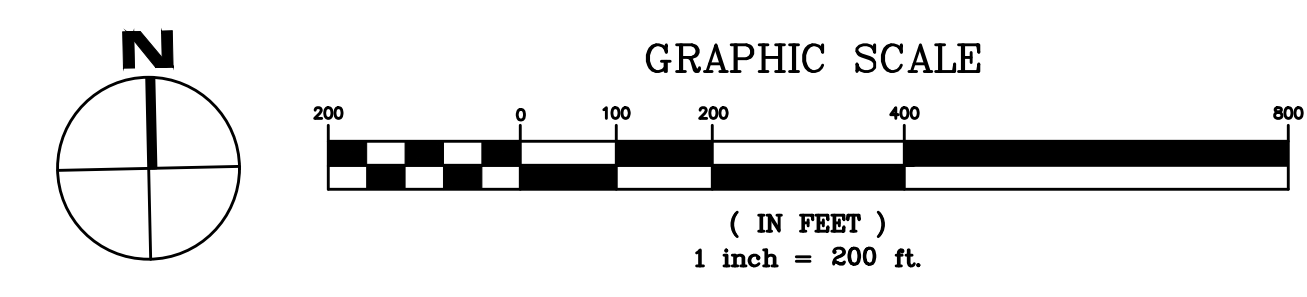
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PHASE:	
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 ALBANY, NY 807 - 788 - 7882 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC22203131484-1

OVERALL GRADING AND UTILITY PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

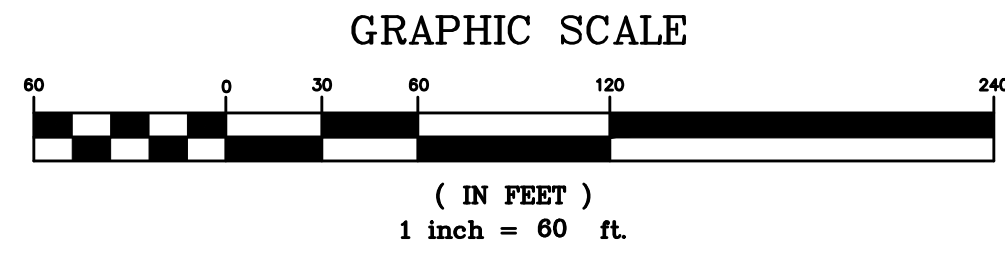
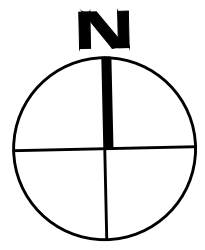
C3.0
 PROJECT NO: 3576-001

- SITE GRADING & UTILITY NOTES:**
1. PROPOSED UNDERGROUND ELECTRIC LINES.
 2. PROPOSED TRANSFORMER/INVERTER PAD.
 3. POINT OF CONNECTION AT EXISTING SUBSTATION.
 4. PROPOSED STORM CULVERT.
 5. PROPOSED ON-SITE SUBSTATION.



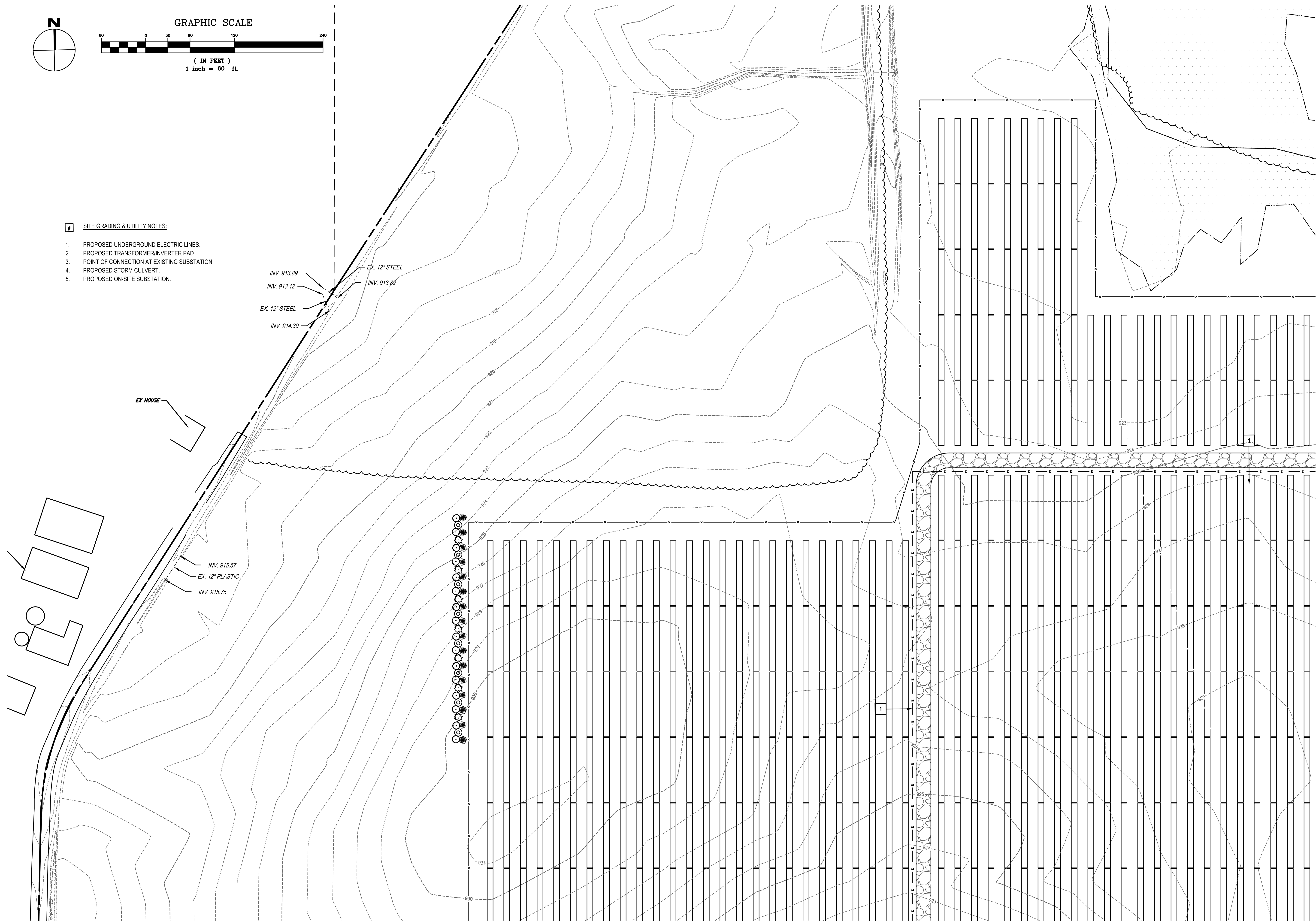
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1 SITE GRADING & UTILITY NOTES:

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GRADING AND UTILITY PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
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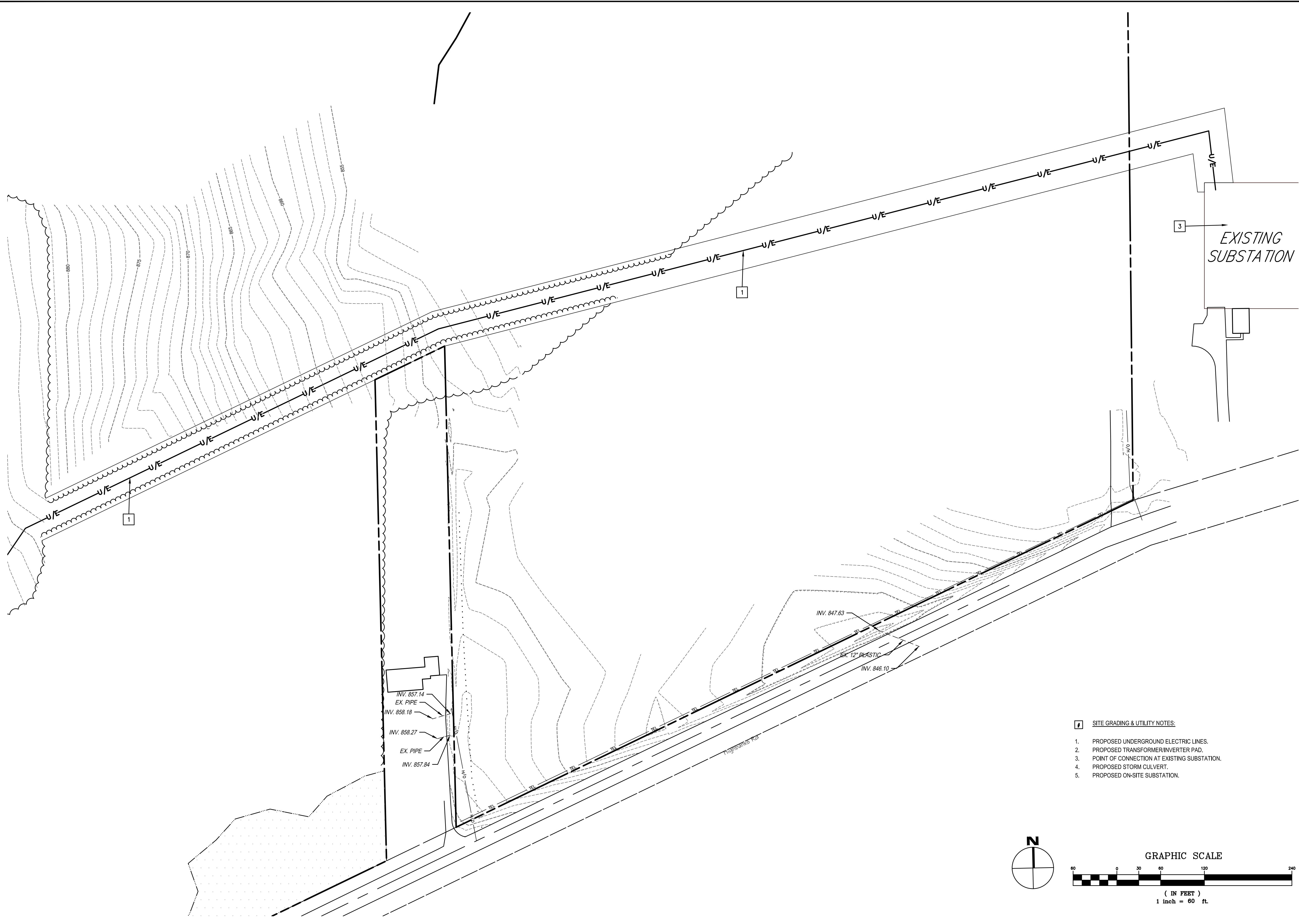
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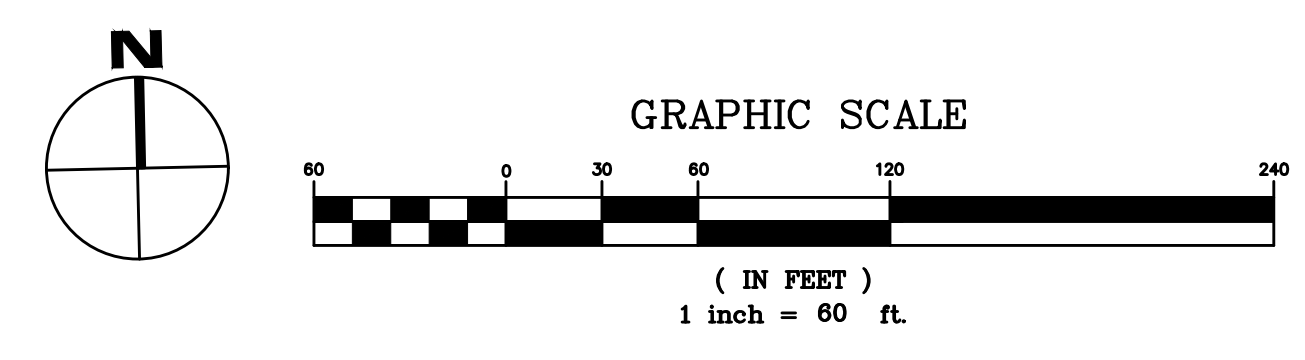
GRADING AND UTILITY PLAN
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- 1** SITE GRADING & UTILITY NOTES:
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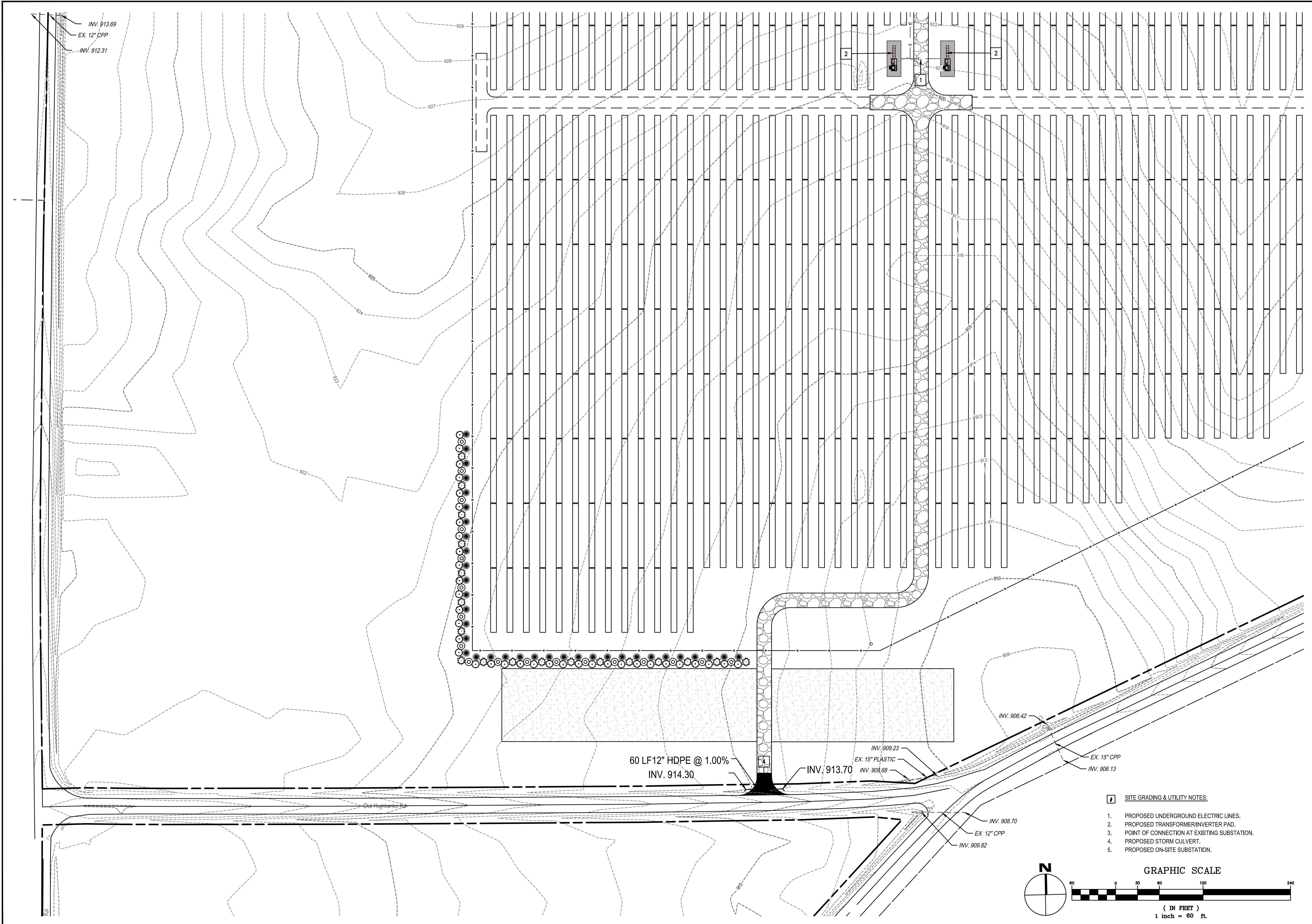
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HIGHBANKS SOLAR DEVELOPMENT
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INV. 913.69
EX. 12" CPP
INV. 912.31

60 LF 12" HDPE @ 1.00%
INV. 914.30

INV. 913.70
EX. 15" PLASTIC
INV. 909.68

INV. 909.23
EX. 15" PLASTIC
INV. 909.68

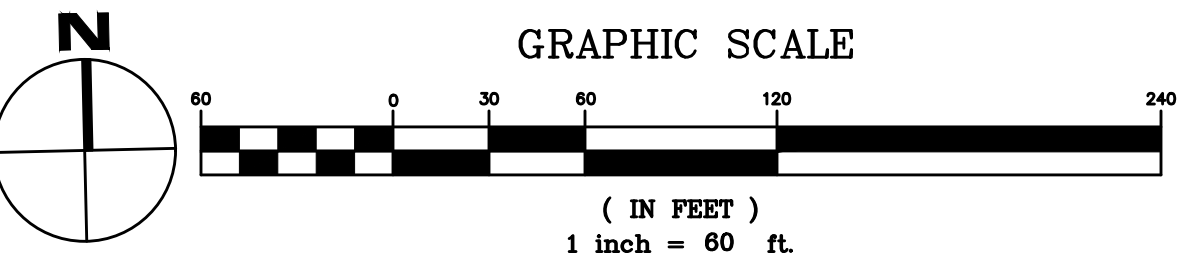
INV. 906.42

EX. 15" CPP
INV. 906.13

INV. 908.70
EX. 12" CPP
INV. 909.82

1 SITE GRADING & UTILITY NOTES:

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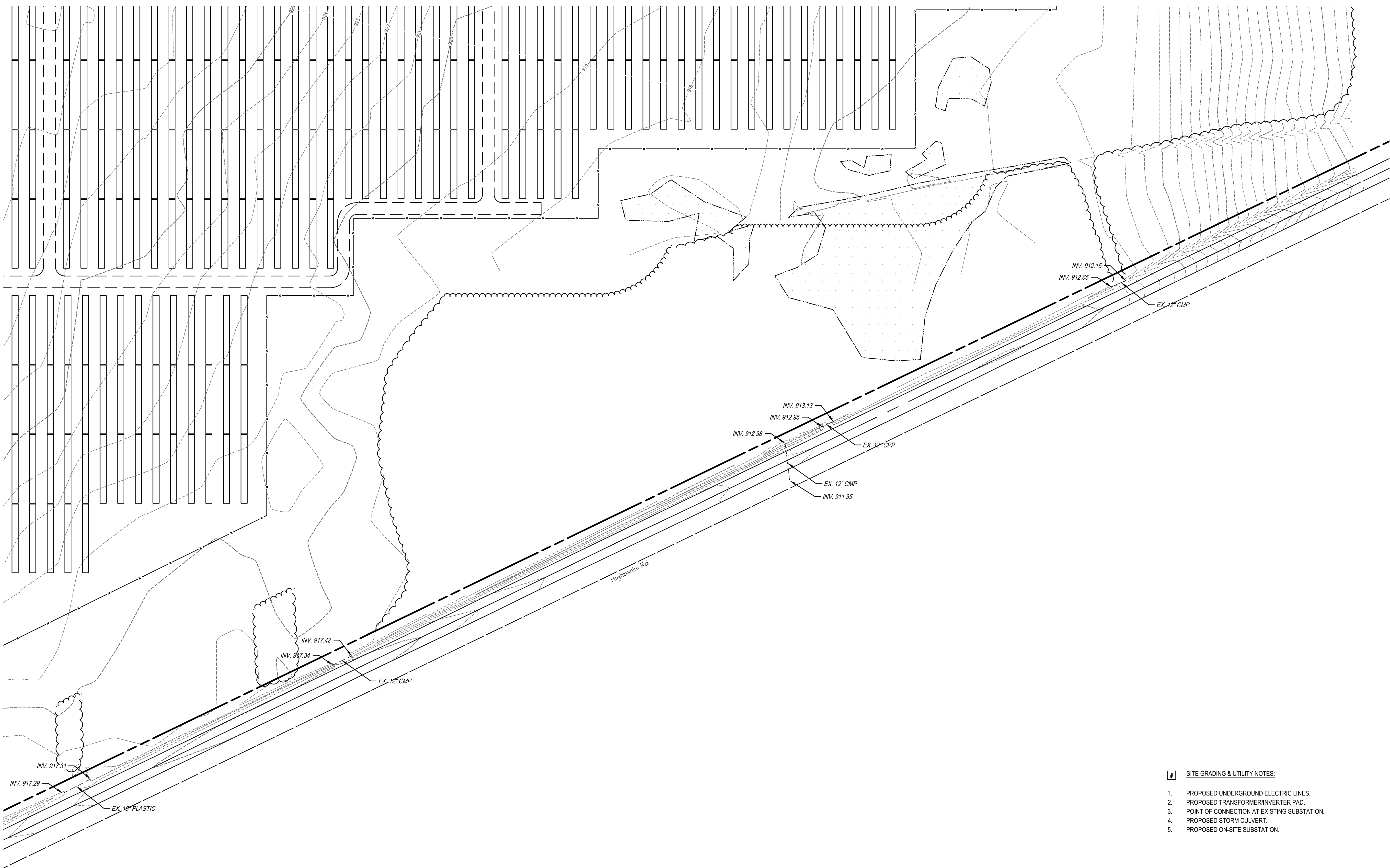
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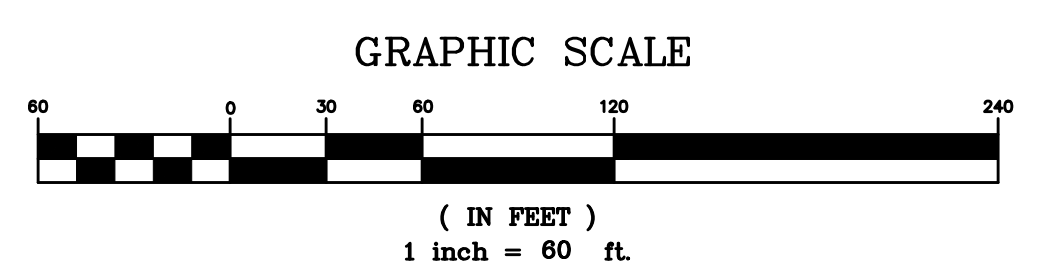
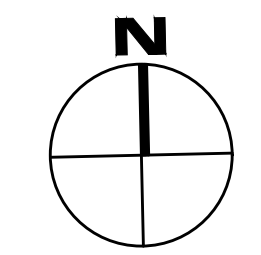
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 ARCHITECTS OR SURVEYORS SEAL

GRADING AND UTILITY PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C3.4
 PROJECT NO: 3576-001



- 7 SITE GRADING & UTILITY NOTES:**
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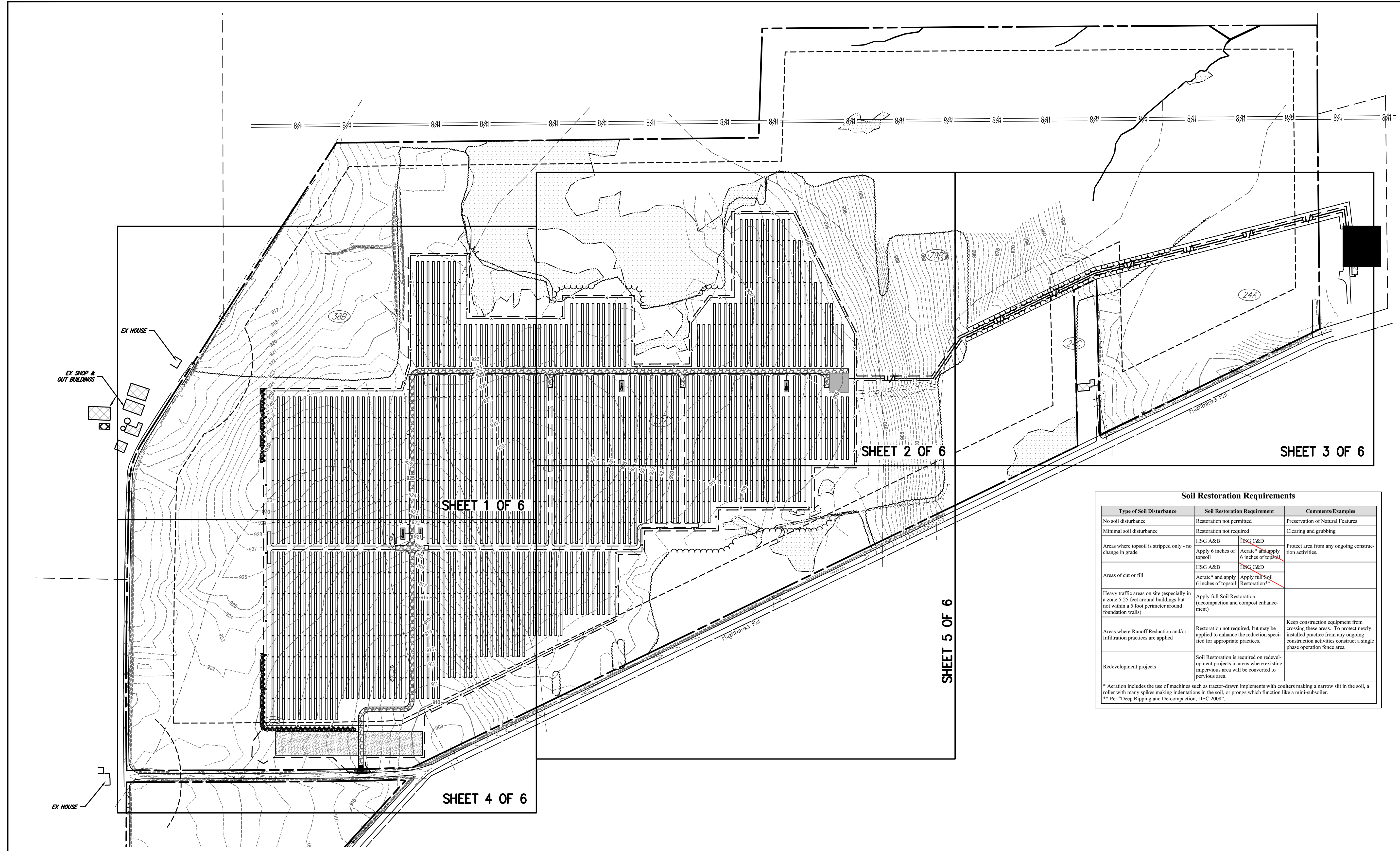
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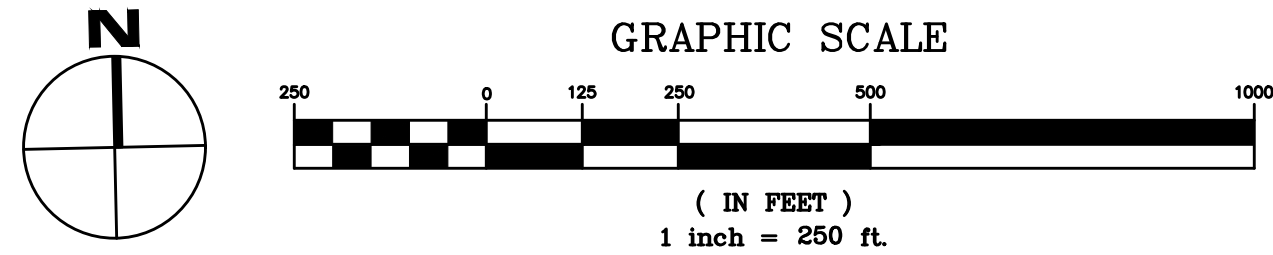
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HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C3.5
 PROJECT NO: 3576-001



Soil Restoration Requirements			
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples	
No soil disturbance	Restoration not permitted	Preservation of Natural Features	
Minimal soil disturbance	Restoration not required	Clearing and grubbing	
Areas where topsoil is stripped only - no change in grade	HSG A&B Apply 6 inches of topsoil	HSG C&D Aerate* and apply 6 inches of topsoil	Protect area from any ongoing construction activities.
Areas of cut or fill	HSG A&B Aerate* and apply 6 inches of topsoil	HSG C&D Apply full Soil Restoration**	
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (decompaction and compost enhancement)		
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area	
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.		

* Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.
 ** Per "Deep Ripping and De-compaction, DEC 2008".



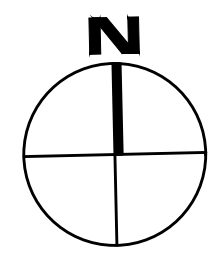
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OVERALL ESC PLAN
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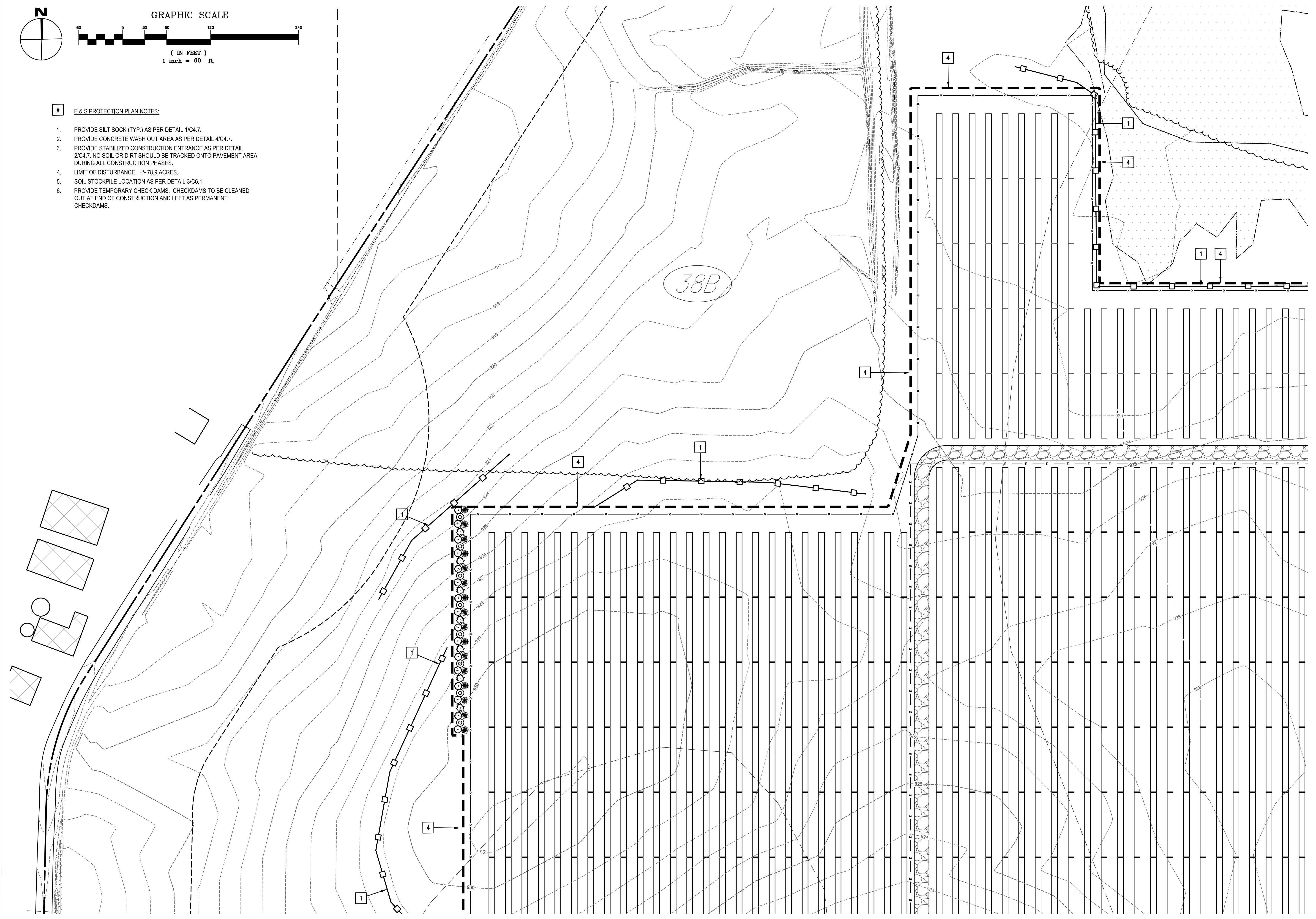
GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

E & S PROTECTION PLAN NOTES:

1. PROVIDE SILT SOCK (TYP.) AS PER DETAIL 1/C4.7.
2. PROVIDE CONCRETE WASH OUT AREA AS PER DETAIL 4/C4.7.
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5. SOIL STOCKPILE LOCATION AS PER DETAIL 3/C6.1.
6. PROVIDE TEMPORARY CHECK DAMS. CHECKDAMS TO BE CLEANED OUT AT END OF CONSTRUCTION AND LEFT AS PERMANENT CHECKDAMS.



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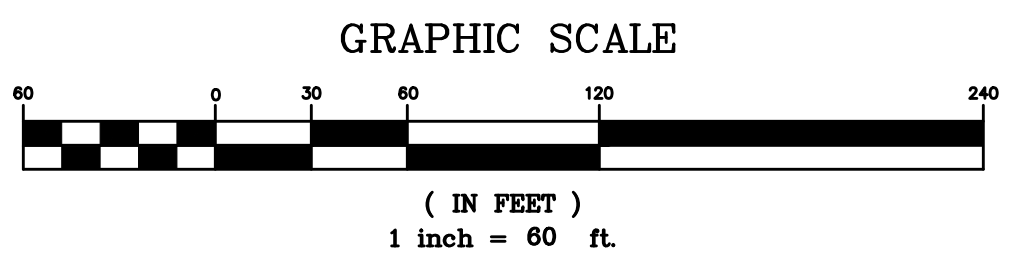
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EROSION AND SEDIMENT CONTROL PLAN
 HIGHBANKS SOLAR DEVELOPMENT
 HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

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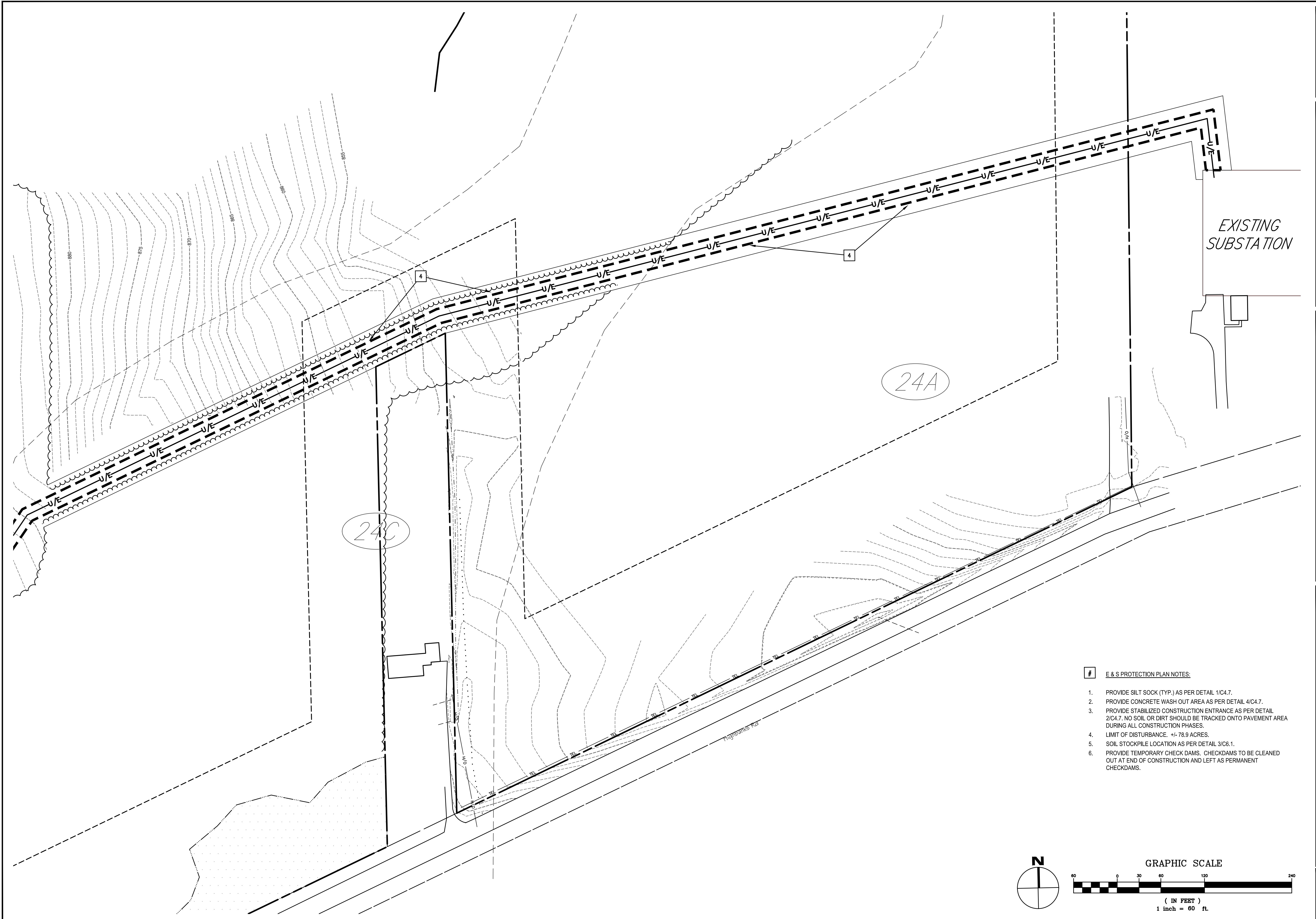
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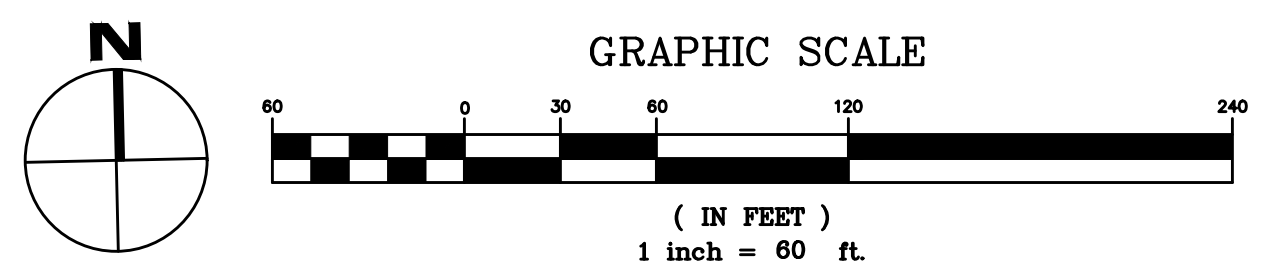
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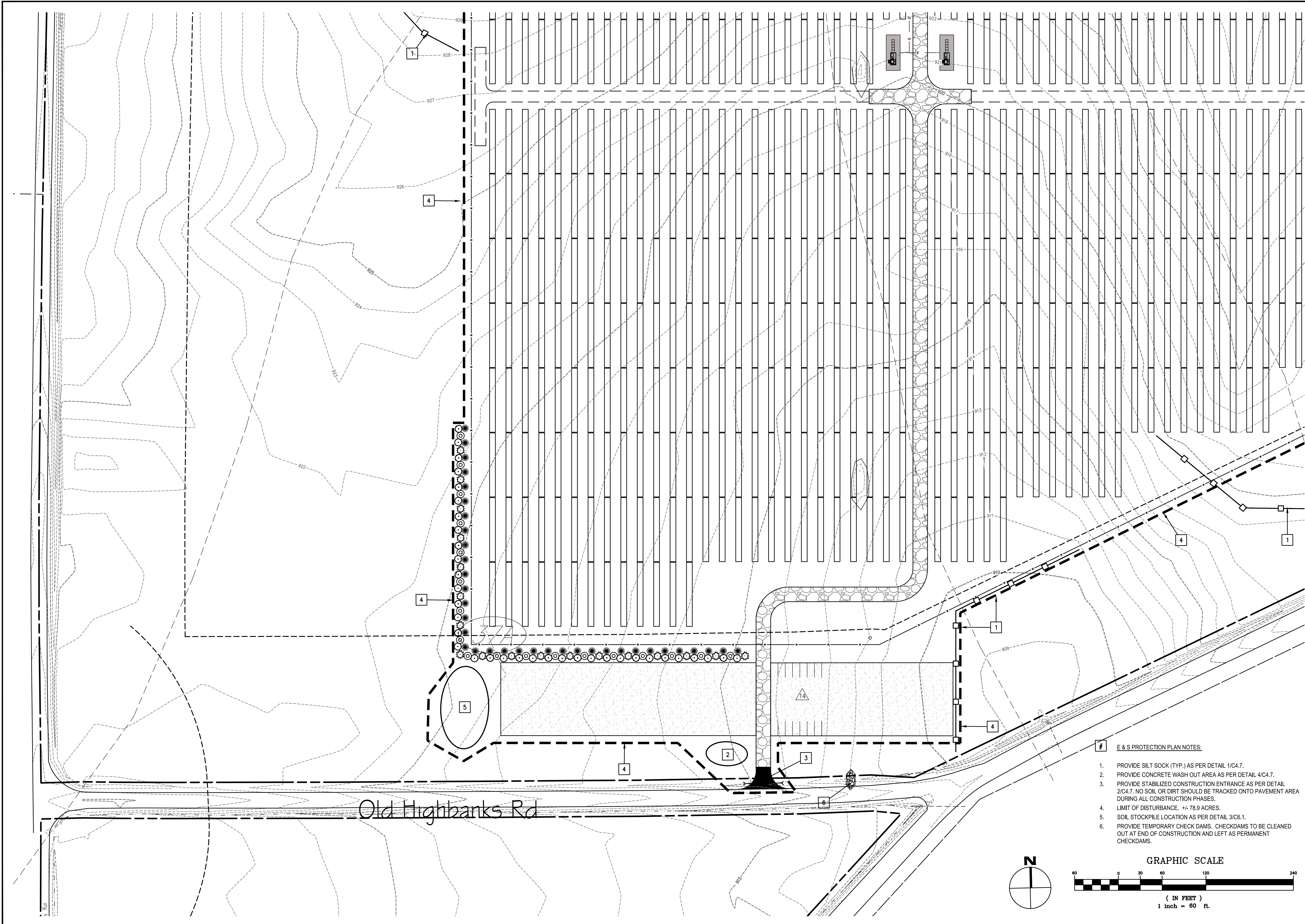
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 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

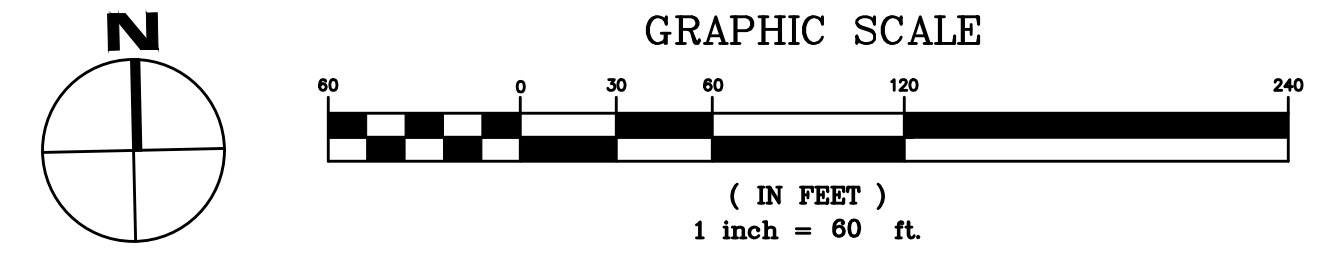
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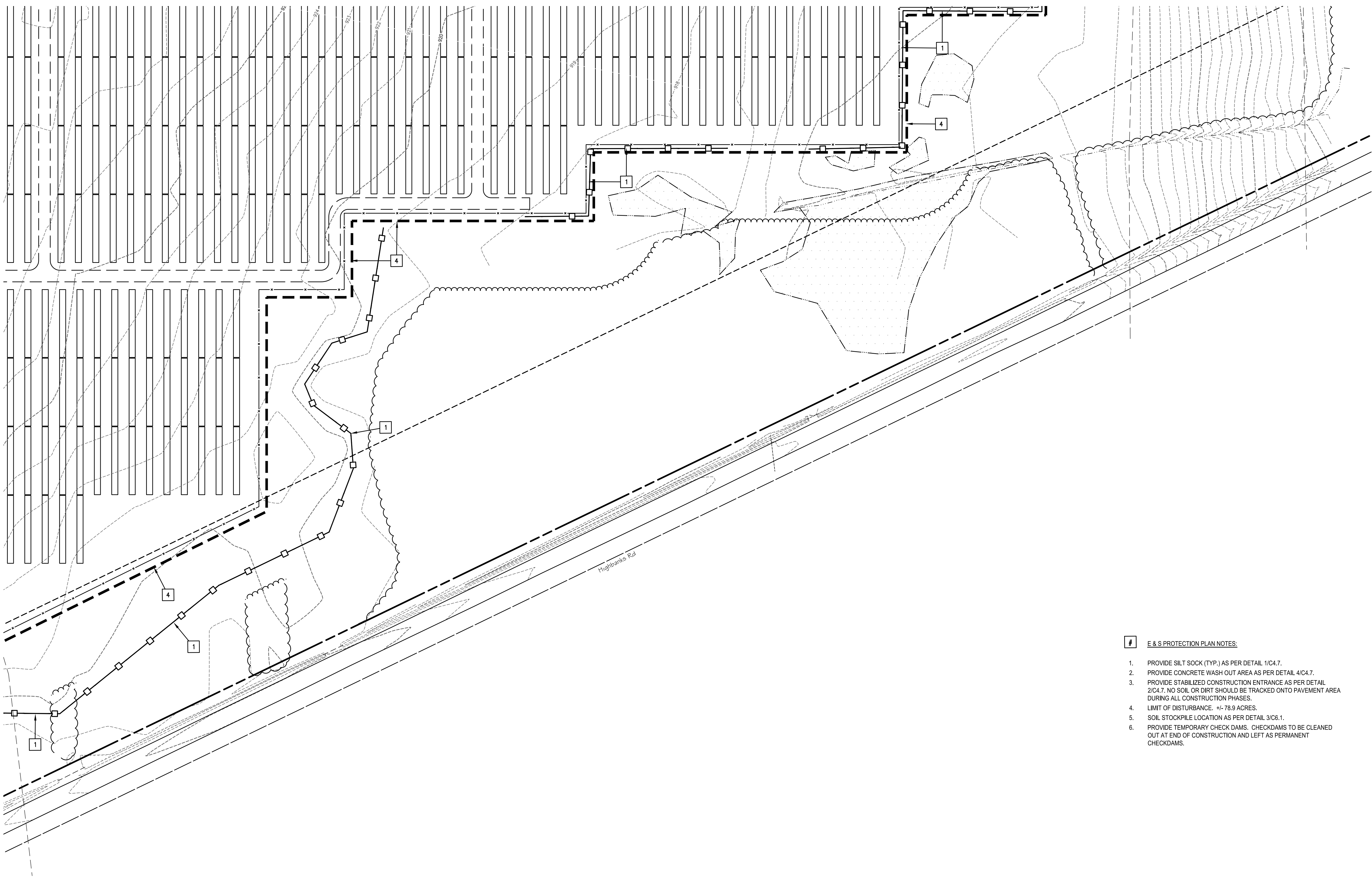
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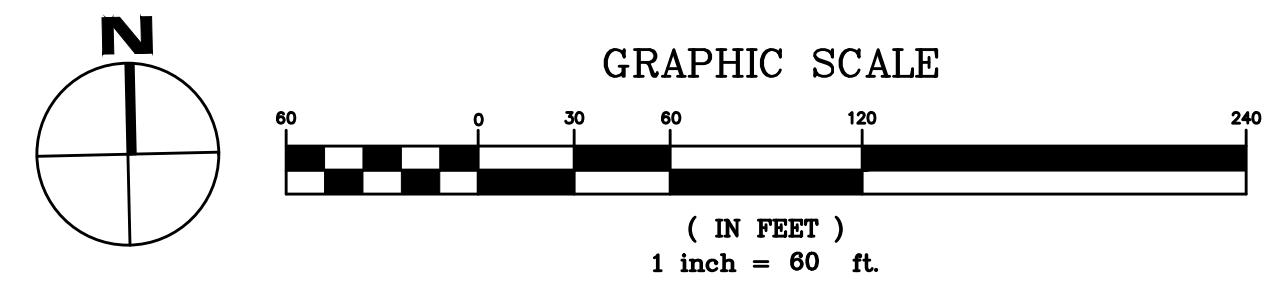
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 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C4.5

PROJECT NO: 3576-001

I. GENERAL REQUIREMENTS:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE STATE POLLUTION DISCHARGE ELIMINATION SYSTEM (SPDES) CONSTRUCTION GENERAL PERMIT, AS ADMINISTERED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION CONTROL AND MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL FACILITIES TO INSURE PROPER FUNCTIONING OF SAID FACILITIES (DURING CONSTRUCTION).
3. AFTER THE PROJECT HAS BEEN COMPLETED, THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR INSURING THAT ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR REPLACED BY PERMANENT CONTROLS.
4. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 5 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2.0 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
5. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT.

II. EROSION & SEDIMENT POLLUTION CONTROL (E & SPC) GUIDELINES

1. EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES AND PRACTICES, UTILIZED IN THE CONSTRUCTION OF THE PROJECT, SHALL BE CONSISTENT WITH THE LATEST EDITIONS OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, AND THE NEW YORK STATE SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES.
2. NATURAL VEGETATION SHALL BE RETAINED, PROTECTED, AND SUPPLEMENTED, AS FEASIBLE PRIOR TO AND DURING CONSTRUCTION.
3. CUT AND FILL SLOPES SHALL BE BROUGHT TO FINAL PROPOSED GRADES AS SOON AS POSSIBLE IN THE CONSTRUCTION SEQUENCES, AND SEEDED AND MULCHED.
4. EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES (CHECK DAMS, FILTER FABRIC FENCING, STABILIZED CONSTRUCTION ENTRANCES, SEDIMENT TRAPS, AND OTHER ACCEPTABLE IMPLEMENTED FACILITIES) SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL COMPLETE SITE STABILIZATION.
5. HEAVY CONSTRUCTION EQUIPMENT SHALL BE KEPT AS CLOSE TO THE WORK AREA AS PRACTICED TO MINIMIZE DISTURBANCE OF SOIL ALREADY STABILIZED OR UNDISTURBED.
6. TOPSOIL AND OTHER SOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN A SUITABLE LOCATION CLEAR FROM ANY STORMWATER DRAINAGE COURSES. STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION.
7. VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR SUFFICIENT GROWTH AND PROGRESS. AREAS NOT RESPONDING SHALL BE PROMPTLY RESEEDED AND REMULCHED AS SOON AS POSSIBLE. AREAS SHOWING SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RESEEDED, AND REMULCHED AS SOON AS POSSIBLE. SOD OR EROSION CONTROL FABRIC SHALL BE UTILIZED WHERE ADEQUATE STABILIZATION IS NOT OCCURRING.
8. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BEFORE BEGINNING EARTH MOVING ACTIVITIES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
9. A STABILIZED CONSTRUCTION ENTRANCE PAD CLEAN STONE WILL BE PLACED AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE AS PER THE DETAIL ON THIS SHEET.
10. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 5 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2.0 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
11. PERMANENT VEGETATION TO BE SEEDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
12. THE APPLICATION OF TOPSOIL, SEEDING, AND MULCHING FOR DISTURBED AREAS SHALL BE CONSISTENT WITH THE STANDARD GENERAL PRACTICES FOR CONSTRUCTION.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.
14. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
15. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF SITE.
16. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
17. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE THEIR CONTINUED FUNCTIONALITY.
18. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.

III. MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES

1. PROPER MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT CONTROL FACILITIES ARE NECESSARY TO THE EFFECTIVENESS OF THE EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES.
2. DISTURBED GROUND SURFACES SHALL BE SPRINKLED WITH WATER, AS NEEDED, TO LIMIT THE FORMATION AND MIGRATION OF AIRBORNE DUST.
3. OPERATIONAL MEASURES SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT THE SPILLS OF FUELS AND LUBRICANTS. IF A SPILL OCCURS, IT SHALL BE CONTROLLED IMMEDIATELY TO PREVENT ITS ENTRY INTO OFF-SITE AREAS INCLUDING ADJACENT STORM SEWER.
4. ANY TEMPORARY EROSION CONTROL FACILITY SHALL REMAIN FUNCTIONAL UNTIL VEGETATIVE COVER IS SUFFICIENTLY ESTABLISHED WITHIN THE RESPECTIVE TRIBUTARY DRAINAGE AREA.
5. ANY DEBRIS ACCUMULATED IN EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE REMOVED AND PROPERLY DISPOSED. THESE FACILITIES SHALL BE CHECKED DAILY AND AFTER RAINFALL EVENTS, AND REALIGNED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES THE FOLLOWING DEPTHS:

SILT FENCE - 1/2 HEIGHT
ROCK OUTLET TRAP - 1/2 TRAP DEPTH (DEPTH VARIES)
INLET PROTECTION - 1 INCH

NOTE: DISTURBED AREAS SHALL BE CONSIDERED AS PERMANENTLY STABILIZED WHEN A MINIMUM COVER OF 80% HAS BEEN ESTABLISHED.

IV. MULCHING AND SEEDING REQUIREMENTS

TEMPORARY SEED REQUIREMENTS

1. SEEDING:
 - a. APPLY LAWN MIX
*SPRING OR SUMMER OR EARLY FALL, THEN SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE
*LATE FALL OR EARLY WINTER, THEN SEED CERTIFIED 'AROSTOOK' WINTER RYE (CEREAL RYE) AT 100 LBS. PER ACRE
 - b. APPLY SEED WITH MECHANICAL SEEDER. OPTIMUM SEEDING DEPTH IS ONE INCH (EXCEPT SANDY SOILS, 2 INCHES).
 - c. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPAKER TYPE SEEDER OR HYDRO-SEEDER IS USED, THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG. SEEDING OPERATIONS SHOULD BE ON THE CONTOUR.
2. MULCHING
 - a. MULCH MATERIALS SHALL BE UN-ROTTED HAY OR STRAW AT A RATE OF 2.0 TO 3.0 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FEET. MULCH SHOULD NOT BE GROUND OR CHOPPED INTO SHORT PIECES.
 - b. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75 PERCENT TO 95 PERCENT OF THE SOIL SURFACE WILL BE COVERED.
 - c. MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. ACCEPTABLE ANCHORING TO INCLUDE WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL (NYLON WEB OR MESH) MAY BE USED IF APPLIED ACCORDING TO MANUFACTURERS' SPECIFICATION.

PERMANENT SEED REQUIREMENTS

1. SEEDBED PREPARATION
 - a. REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE.
 - b. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACT, THE AREA MUST BE RE-TILLED AS ABOVE.
2. SEEDING:
 - a. PERMANENT SEEDING SHALL BE AS SHOWN ON SHEET C5.0.
 - b. APPLY SEED WITH MECHANICAL SEEDER OR BY HYDROSEEDING. OPTIMUM SEEDING DEPTH IS ONE INCH (EXCEPT SANDY SOILS, 2 INCHES).
 - c. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPAKER TYPE SEEDER OR HYDRO-SEEDER IS USED, THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG. SEEDING OPERATIONS SHOULD BE ON THE CONTOUR.
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V. LANDSCAPE PLANTING REQUIREMENTS

1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.
3. CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/SYSTEMS OF INSTALLED PLANT MATERIAL.
4. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
5. THE LANDSCAPE CONTRACTOR SHALL CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THE LANDSCAPE CONTRACTOR.

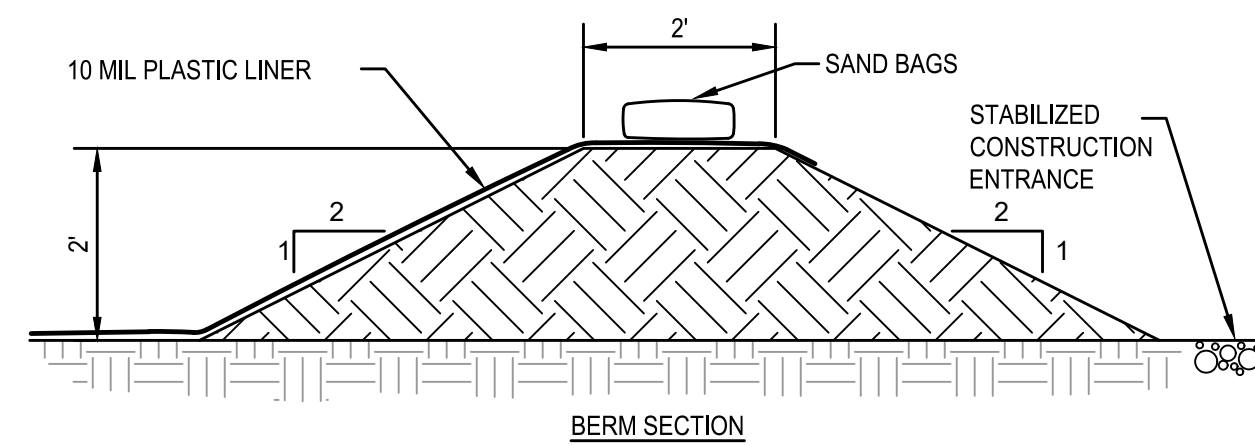
VI. CONSTRUCTION SEQUENCING

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER PROTECTION MEASURES.
2. ROUGH GRADE SITE ENTRANCE AND ACCESS ROADWAY AS SHOWN IN PLANS.
3. INSTALL TEMPORARY LAYDOWN AREAS AND GRAVEL ACCESS ROADS.
4. TEMPORARILY STABILIZE ALL DISTURBED AREAS.
5. INSTALL UTILITIES, RACKING, MODULES AND ALL OTHER SITE IMPROVEMENTS.
6. PROVIDE PERMANENT VEGETATION ON ALL DISTURBED AREAS.
7. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS ONCE 80% STABILIZATION HAS BEEN ACHIEVED.

VII. NYSDEC SPDES GENERAL PERMIT (GP-0-20-001) COMPLIANCE

PER NYSDEC SPDES GENERAL PERMIT 0-15-002, AT NO POINT DURING CONSTRUCTION SHALL GREATER THAN 5 ACRES OF THE PROJECT SITE BE DISTURBED AT ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE DEPARTMENT. COMPLIANCE WITH THE CONDITIONS BELOW IS REQUIRED FOR PROJECTS WHICH EXCEED 5-ACRES OF DISTURBANCE AT ANY GIVEN TIME:

- A. THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT AT LEAST TWO (2) SITE INSPECTIONS IN ACCORDANCE WITH PART IV.C. OF THIS PERMIT EVERY SEVEN (7) CALENDAR DAYS. FOR AS LONG AS GREATER THAN FIVE (5) ACRES OF SOIL REMAIN DISTURBED, THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.
- B. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
- C. THE OWNER OR OPERATOR SHALL PREPARE A PHASING PLAN THAT DEFINES MAXIMUM DISTURBED AREA PER PHASE AND SHOWS REQUIRED CUTS AND FILLS.
- D. THE OWNER OR OPERATOR SHALL INSTALL ANY ADDITIONAL SITE-SPECIFIC PRACTICES NEEDED TO PROTECT WATER QUALITY.
- E. THE OWNER OR OPERATOR SHALL INCLUDE THE REQUIREMENTS ABOVE IN THEIR SWPPP.

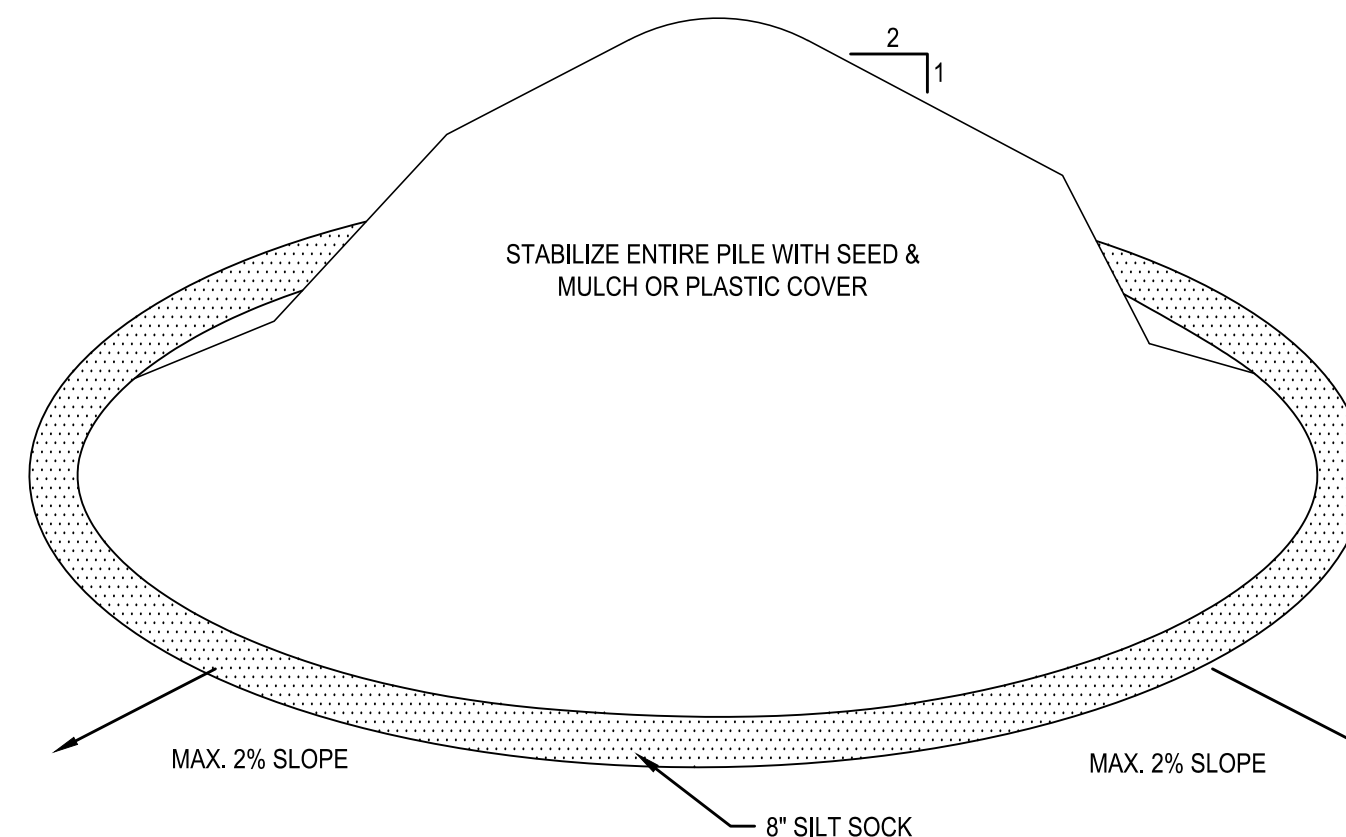
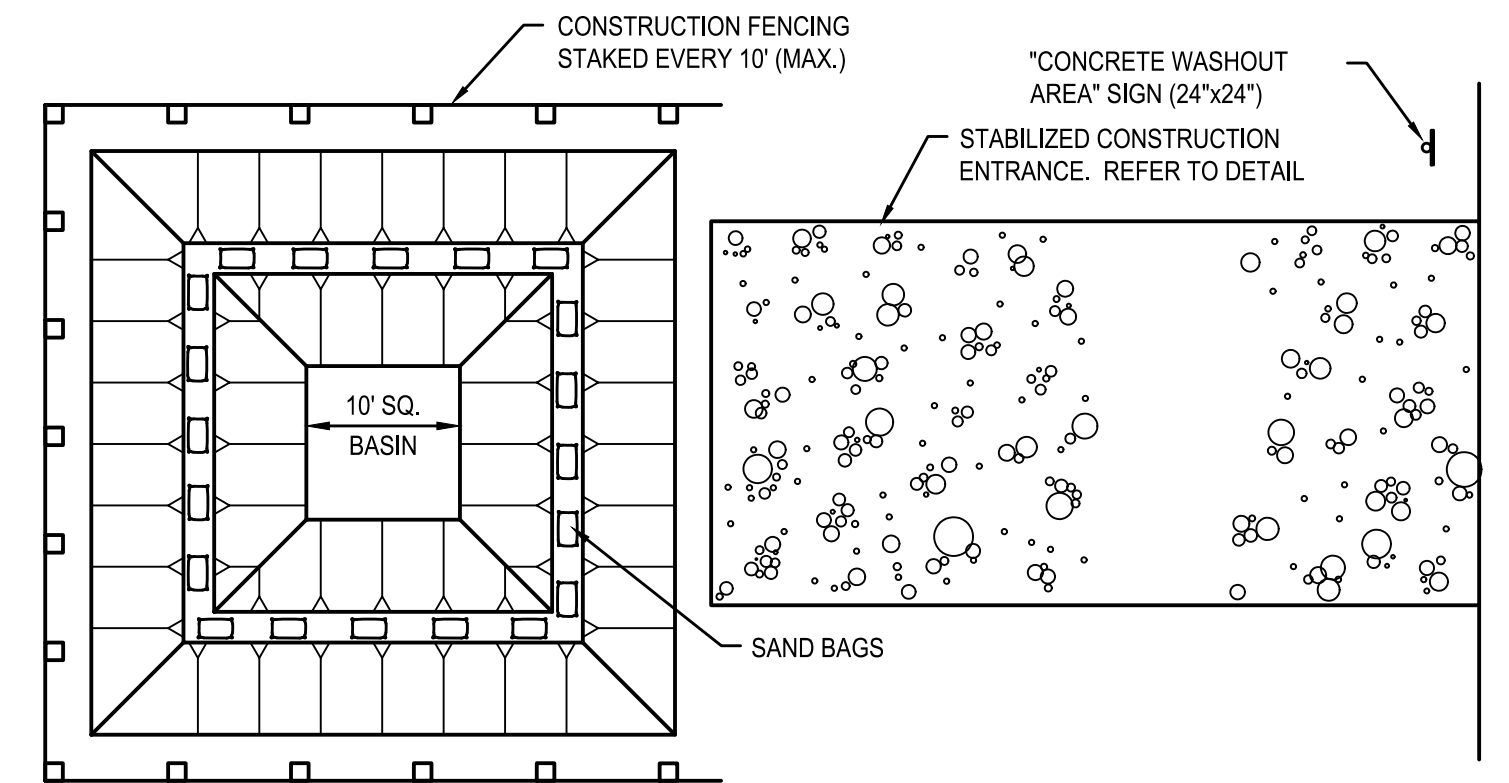


NOTES:

1. ALL TOOLS AND EQUIPMENT UTILIZED DURING ANY CONCRETE CONSTRUCTION, INCLUDING HAND TOOLS, WHEELBARROWS, TRUCKS, CHUTES SHALL UTILIZE THE CONCRETE WASHOUT AREA.
2. WASHOUT AREA TO BE MAINTAINED AND CLEANED OUT AT 75% CAPACITY TO PREVENT WASHWATER AND/OR SOLIDS FROM EXITING THE WASHOUT TRAP.

4 CONCRETE WASH OUT DETAIL

SCALE: NOT TO SCALE

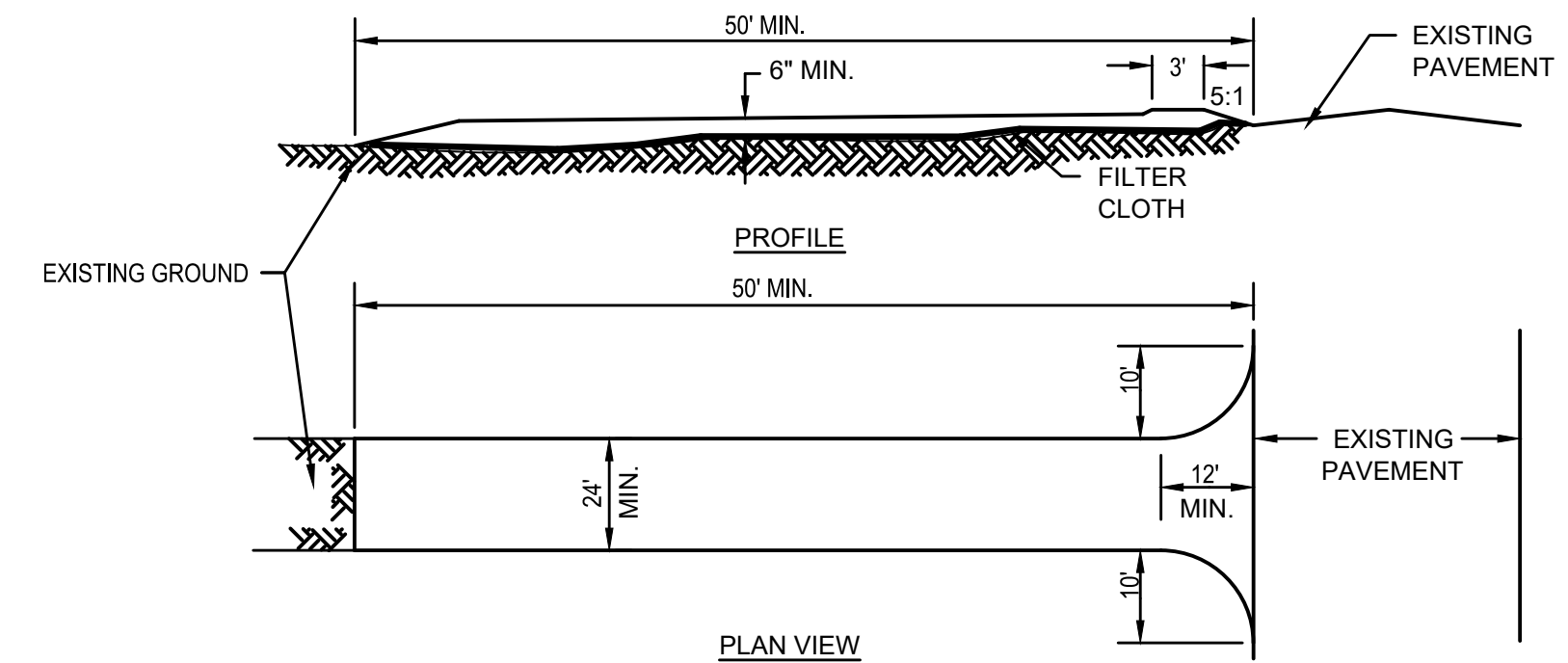


SOIL STOCKPILING NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT SOCK AND THEN STABILIZED WITH SEED & MULCH.
4. SEE SILT SOCK INSTALLATION DETAIL THIS SHEET.

3 SOIL STOCKPILE DETAIL

SCALE: NOT TO SCALE

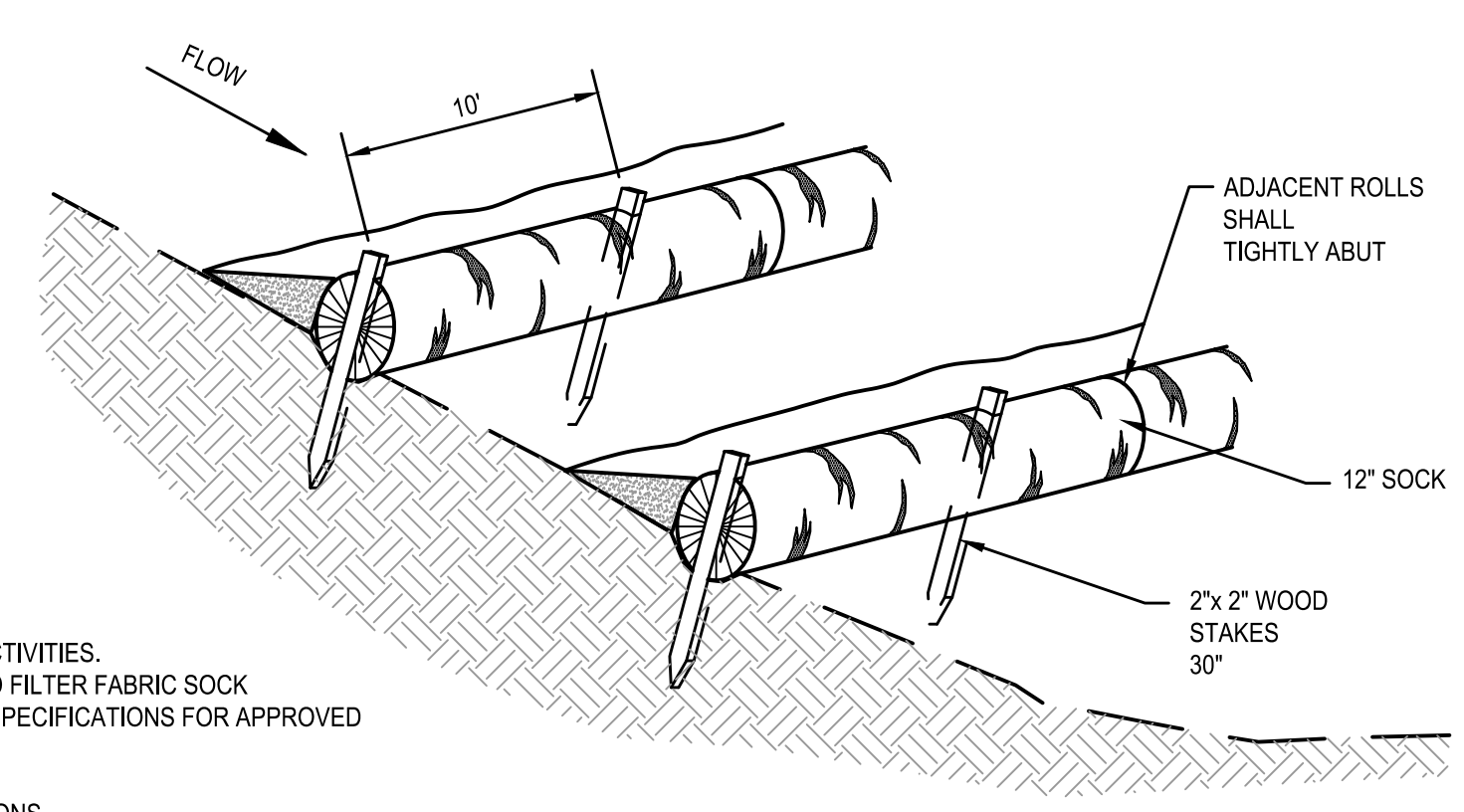


CONSTRUCTION NOTES FOR STABILIZED CONSTRUCTION ENTRANCE

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN 6 INCHES.
4. WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIRECTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING IF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANEST OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

2 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NOT TO SCALE



COMPOST SOCKS - DETAIL A

MAINTENANCE:
SEDIMENT ACCUMULATED BEHIND WATTLE SHALL BE REMOVED WHEN SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DIAMETER OF THE WATTLE.

1 COMPOST OR SILT SOCK INSTALLATION DETAIL

SCALE: NOT TO SCALE

DRAWN BY:
CHECKED BY:
DATE: JUNE 19, 2024
PHASE:

DESCRIPTION OF REVISION:
DATE:

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IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO MAKE UNAUTHORIZED ALTERATIONS OR ADDITIONS TO PLANS BEARING A LICENSED ENGINEER'S ARCHITECTS OR SURVEYORS SEAL.

HUNT ENGINEERS | ARCHITECTS | SURVEYORS

HORSEHEADS, NY 807 - 595 - 1000 ROCHESTER, NY 695 - 327 - 7990
TOWNSEND, NY 662 - 666 - 6666
ALBANY, NY 807 - 788 - 8088 WWW.HUNT-ENG.COM
NY CERTIFICATE NO. 00198220 PA CERTIFICATE NO. TSC2203131484-1

EROSION AND SEDIMENT CONTROL PLAN

HIGHBANKS SOLAR DEVELOPMENT

HIGHBANKS SOLAR, LLC

2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C4.6

PROJECT NO: 3576-001

SYM	QTY	ID	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE	GROWTH PER YEAR	YEARS TO MATURE
⊙	25	FI	Forsythia x intermedia 'lynwood gold'	Lynwood Gold Forsythia	5-6' HT.	10' O.C.	6' tall x 8' wide	12-24"	5-10 years
⊙	50	JC	Juniperus ch. 'Hetzi columnaris'	Columnar Juniper	5-6' HT.	10' O.C.	15' tall x 5' wide	6-18"	5-10 years
⊙	26	SV	Syringa vulgaris 'monge'	Lilac 'monge'	5-6' HT.	10' O.C.	8' tall x 7' wide	6-12"	5-10 years
⊙	25	TO	Thuja occidentalis 'smaragd'	Emerald Green Arborvitae	5-6' HT.	10' O.C.	15' tall x 5' wide	6-18"	5-10 years
⊙	26	VR	Viburnum x rhytidophyloides 'allegany'	Alleghany Viburnum	5-6' HT.	10' O.C.	8' tall x 8' wide	6-12"	5-10 years



SEE PLANTING AREA 1 ON THIS SHEET

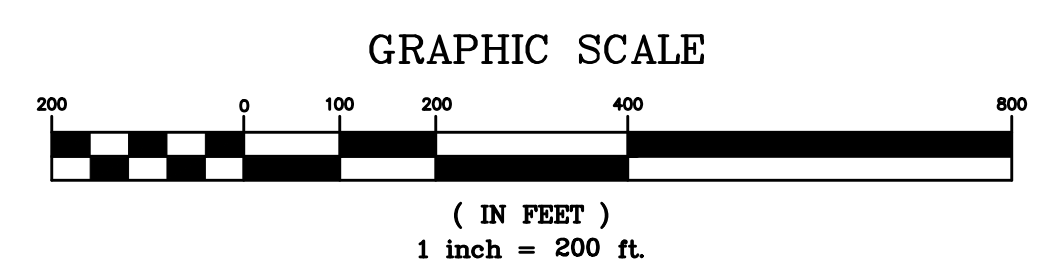
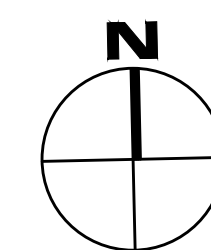
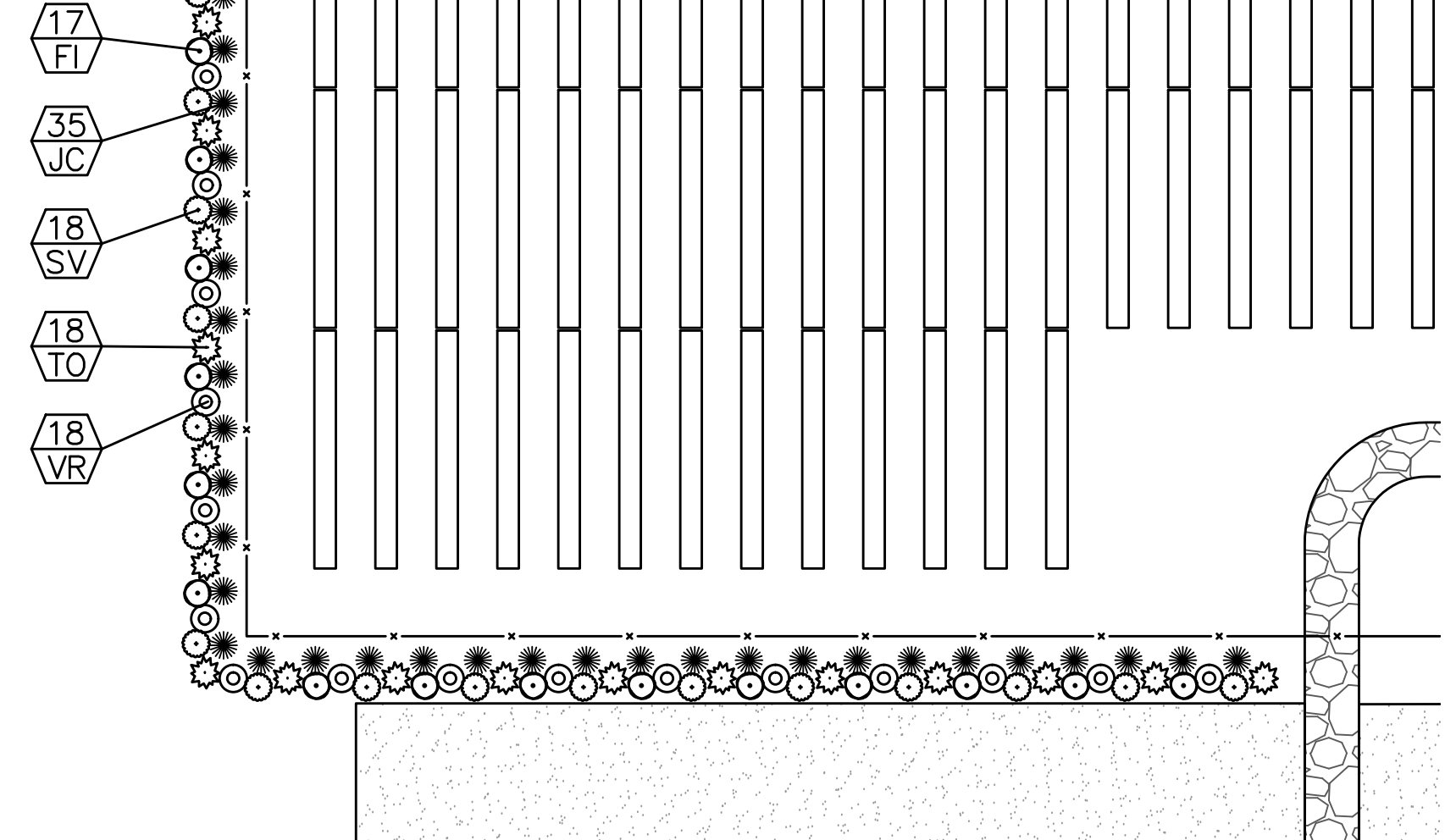
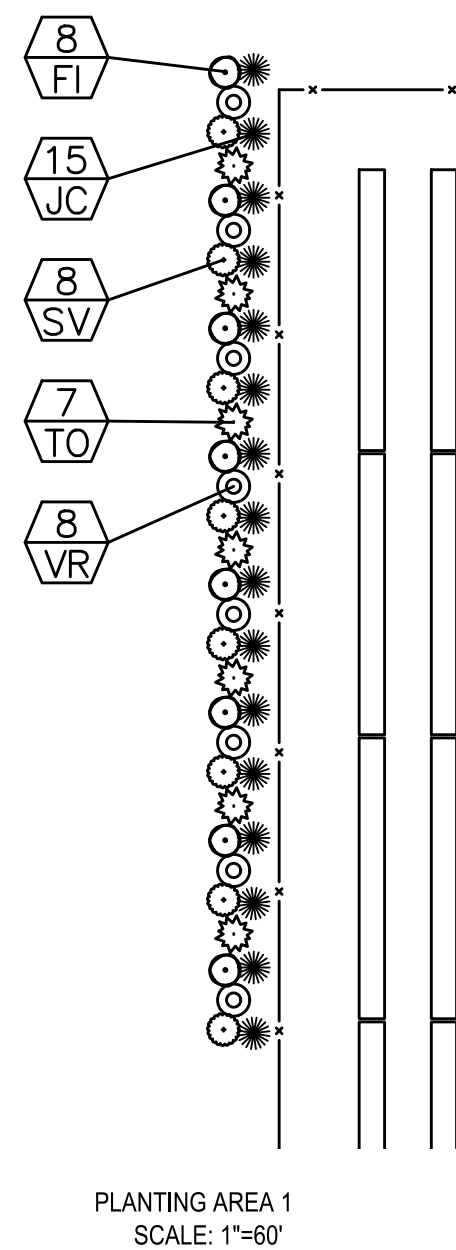
SEE PLANTING AREA 2 ON THIS SHEET

VEGETATION & HABITAT NOTES:

1. TOPSOIL AND SEED DISTURBED AREAS WITH SEED MIX INDICATED BELOW.
2. MAINTAIN EXISTING VEGETATION BEYOND PROPOSED LIMITS OF DISTURBANCE.
3. EXISTING US ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS TO REMAIN UNDISTURBED.
4. REMOVE TEMPORARY STONE LAYDOWN AREA AND RESTORE WITH 4-6" TOPSOIL AND SEED MIX INDICATED BELOW.
5. VEGETATIVE SCREENING. SEE ENLARGEMENTS AND PLANTING SCHEDULE THIS SHEET.

SEED MIX & MULCHING REQUIREMENTS

1. PERMANENT SEEDING WITHIN FENCED AREA SHALL BE ERNST SEEDS MIX ERNMX-612 NORTHEAST SOLAR POLLINATOR MIX @ 40LB/ACRE OR APPROVED EQUAL.
2. PERMANENT SEEDING OUTSIDE FENCED AREA SHALL BE ERNST 5311 CONSERVATION MIX @ 100LB/ACRE OR APPROVED EQUAL.
3. PERMANENT SEEDING FROM PROJECT SUBSTATION TO OFFSITE SUBSTATION SHALL BE ERNST RIGHT-OF-WAY NATIVE WOODS MIX W/ ANNUAL RYEGRASS @ 40LB/ACRE OR APPROVED EQUAL.
4. STRAW OR WOOD FIBER CELLULOSE (HYDROMULCH) SHALL BE APPLIED TO AREAS RECEIVING PERMANENT SEED AT A RATE OF 2 TONS/ACRE.

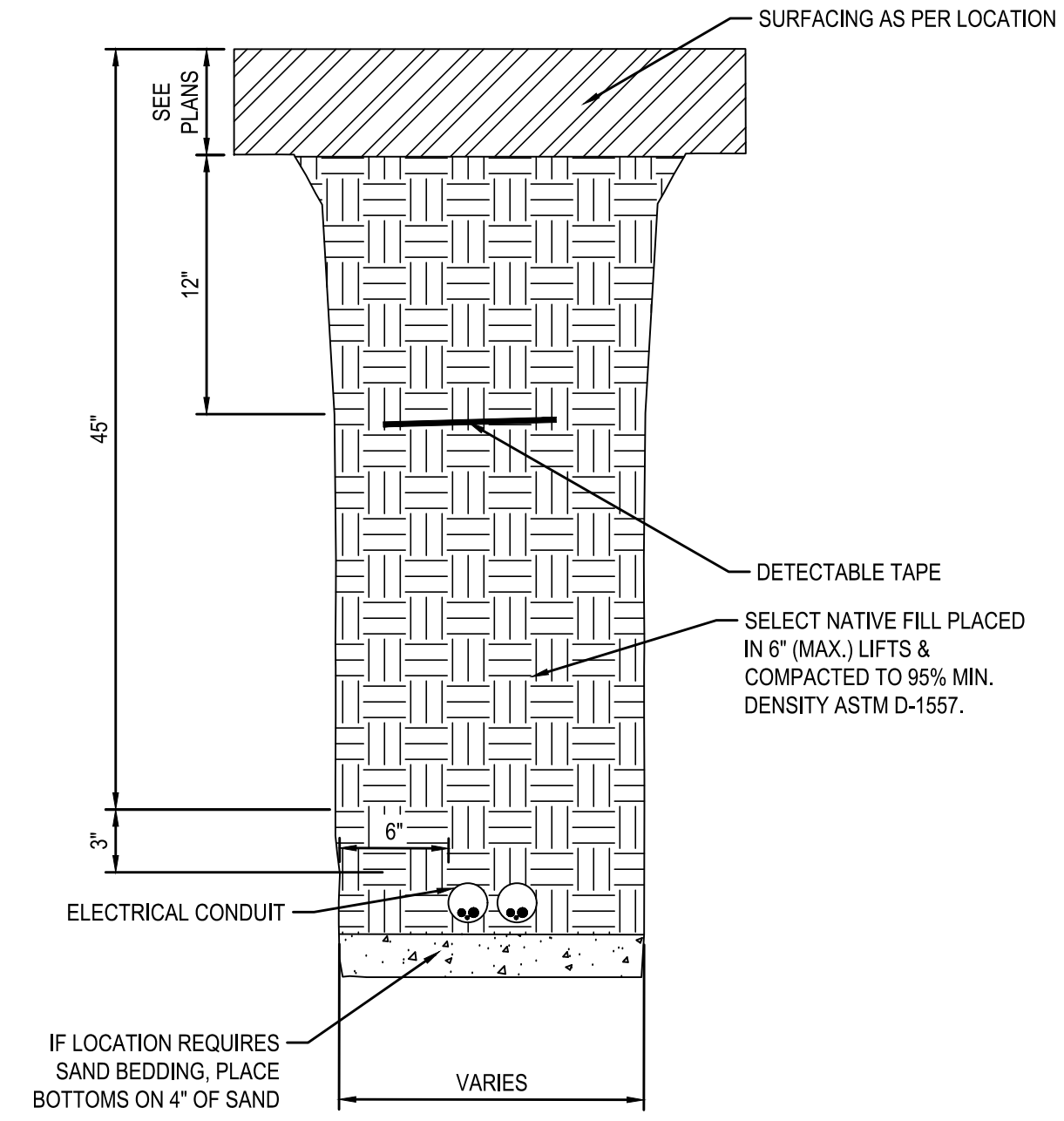


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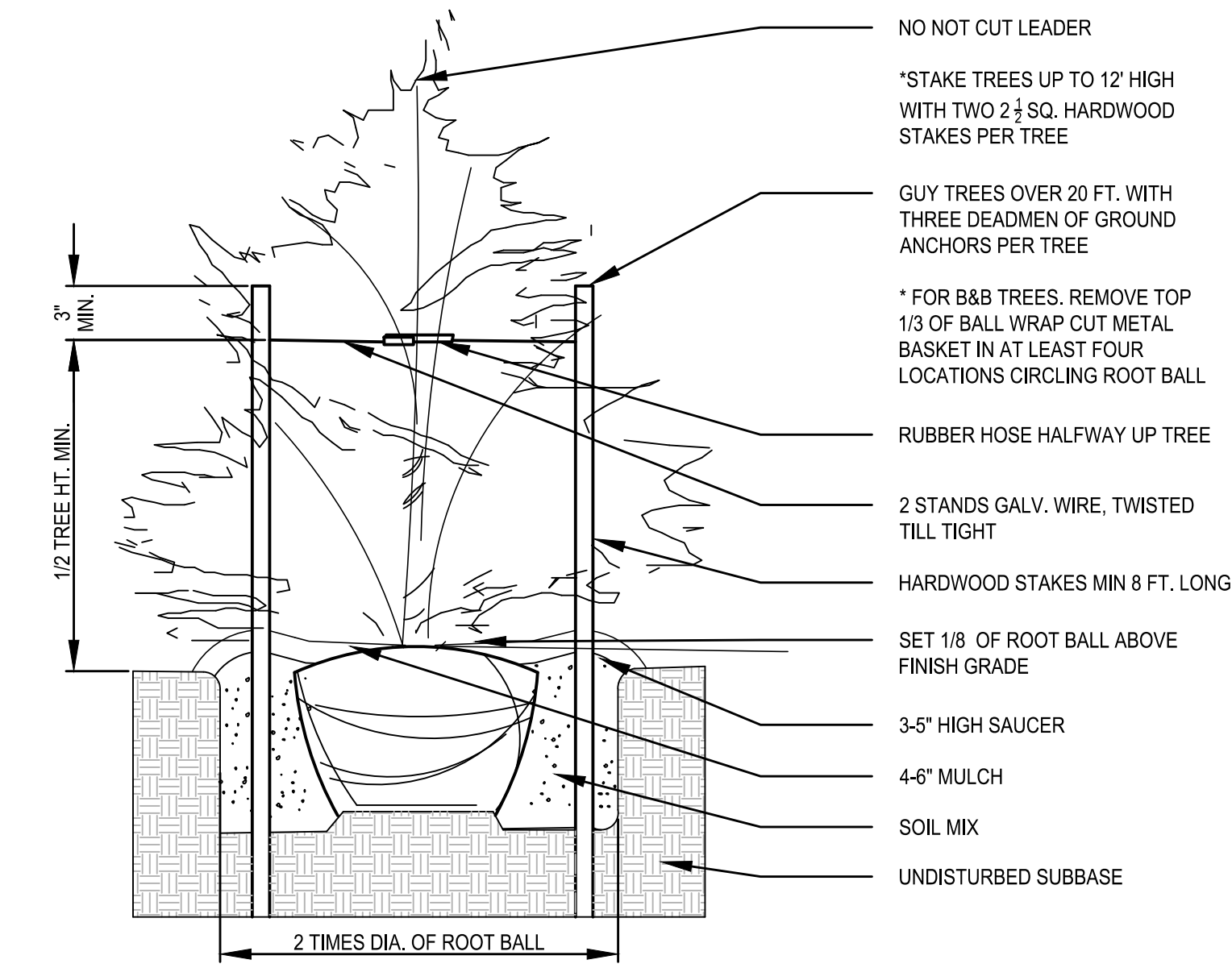
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 TOWNHAWK, NY 585 - 462 - 6666 PLACENTIA, CA 714 - 962 - 8888
 ALBANY, NY 518 - 788 - 7887 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC2203131464-1

SITE VEGETATION AND HABITAT PLAN
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

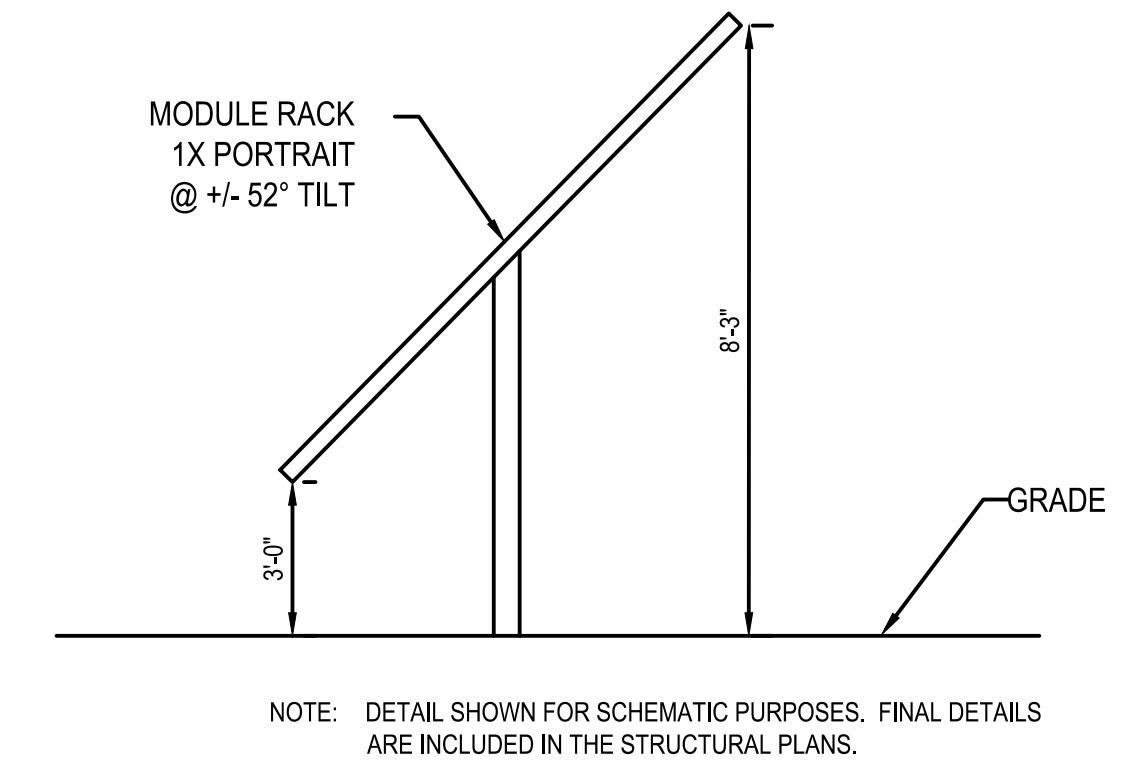
C5.0
 PROJECT NO: 3576-001



7 TYPICAL ELECTRICAL TRENCH DETAIL
SCALE: N.T.S.



6 EVERGREEN TREE PLANTING DETAIL
SCALE: N.T.S.



5 PANEL RACK DETAIL
SCALE: N.T.S.

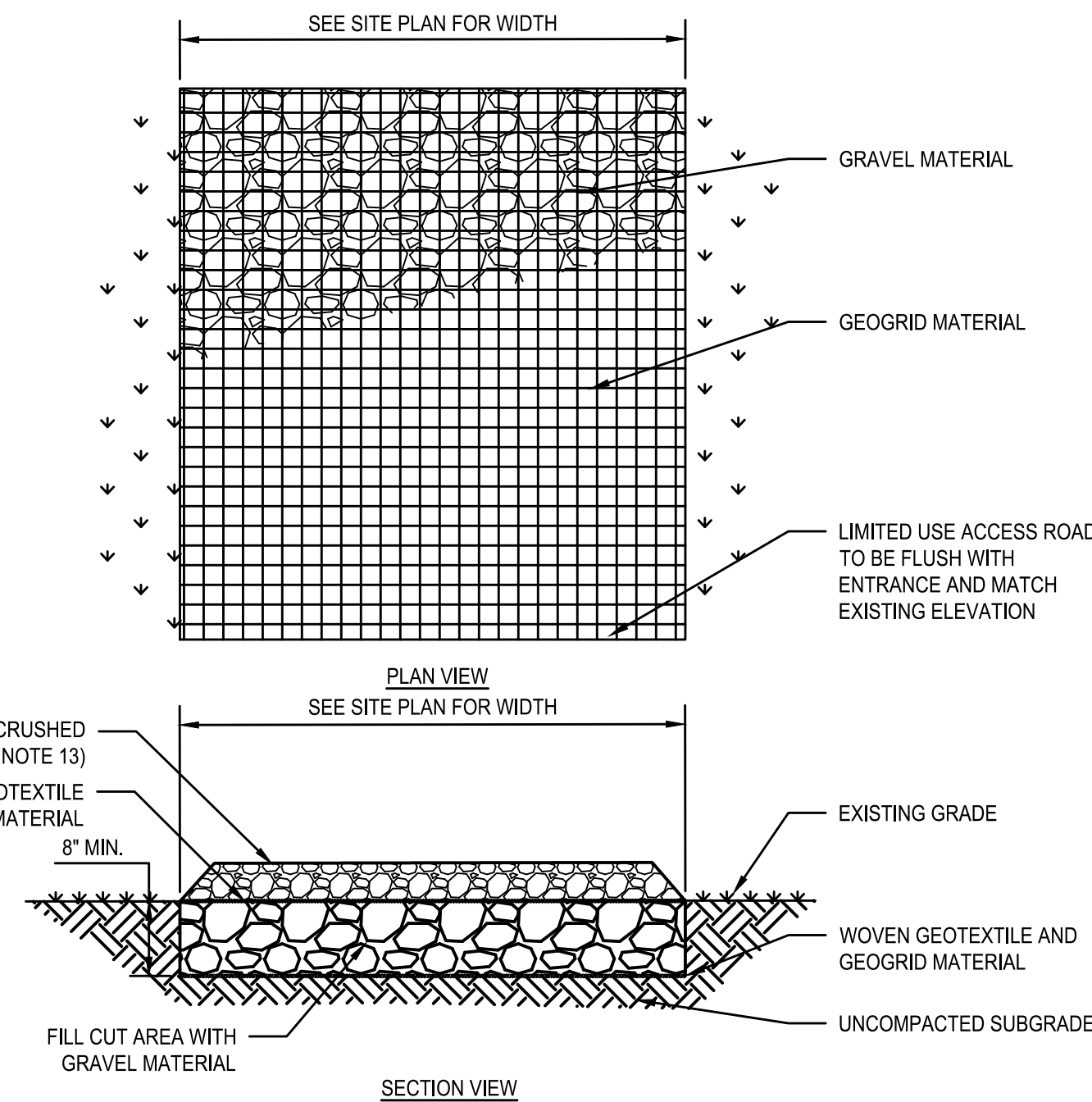
GENERAL NOTES:

- USE OF THIS DETAIL/CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOWING, EQUIPMENT REPAIR OR MAINTENANCE, ETC.).
- LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
- REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY. FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
- REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE INSITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
- GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOIL AND DESIRED ELEVATION. MINOR CRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
- REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
- ROADWAY WIDTH TO BE DETERMINED BY CLIENT.
- THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 2% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
- LIMITED USE PERVIOUS ACCESS ROAD IS NOT INTENDED TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION, EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY.
- TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION, A STANDARD NEW YORK STATE STABILIZED CONSTRUCTION ACCESS SHALL BE CONSTRUCTED AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON, OR OFF SITE. MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
- THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
- THE LIMITED USE PERVIOUS ACCESS ROAD SHALL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF A UNIFORM VEGETATION (I.E. BUFFER), 20 FEET WIDE AND PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
- CRUSHED STONE CAP TO BE INSTALLED ON ANY PORTION OF THE PERVIOUS ACCESS ROAD THAT WILL BE INSTALLED AND USED DURING CONSTRUCTION. WOVEN GEOTEXTILE (MIRAFI 500X OR EQUAL) SHALL BE PLACED BETWEEN CRUSHED STONE AND CLEAN STONE. UPON FINAL STABILIZATION, THE CAP SHALL BE REMOVED AND THE PERVIOUS STONE SECTION SHALL HAVE ADDITIONAL STONE ADDED AND GRADED AS NEEDED.

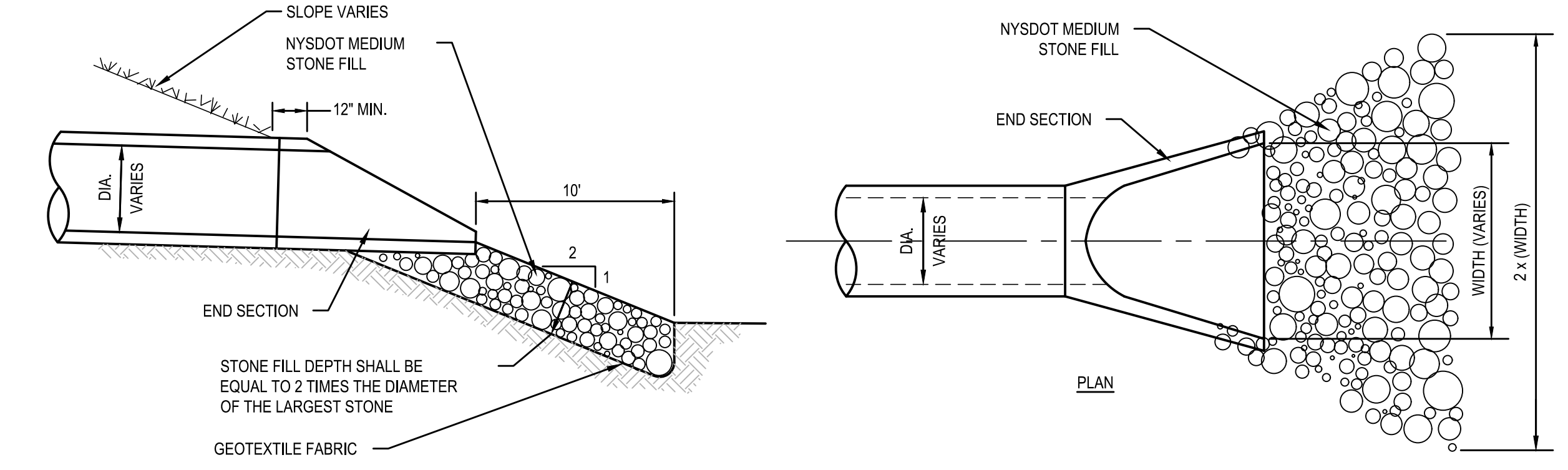
GEOGRID MATERIAL NOTES:

- THE GEOGRID, OR COMPARABLE PRODUCT, IS INTENDED FOR USE FOR ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS LOADS.
- GRAVEL FILL MATERIAL SHALL CONSIST OF 1-4" CLEAN, DURABLE, SHARP-ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATIONS OF NYSDOT ITEM 703-02, SIZE DESIGNATION 3-5 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF, AND SPREAD WITH A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
- GEOGRID SHALL BE MIRAFI BXG110 OR APPROVED EQUAL. GEOGRID SHALL BE DESIGNATED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
- WOVEN GEOTEXTILE (MIRAFI 500X OR EQUAL) SHALL BE INSTALLED BETWEEN GEOGRID AND NATIVE SOIL IN AREAS OF POOR DRAINAGE OR SOILS CONSISTING OF EXCESSIVE FINE MATERIAL.
- IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF 6 INCHES.
- REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
- LIMITED USE PERVIOUS ACCESS ROAD SHALL BE TOP DRESSED AS REQUIRED WITH ONLY 1-4" CRUSHED STONE MEETING NYSDOT ITEM 703-02 SPECIFICATIONS.

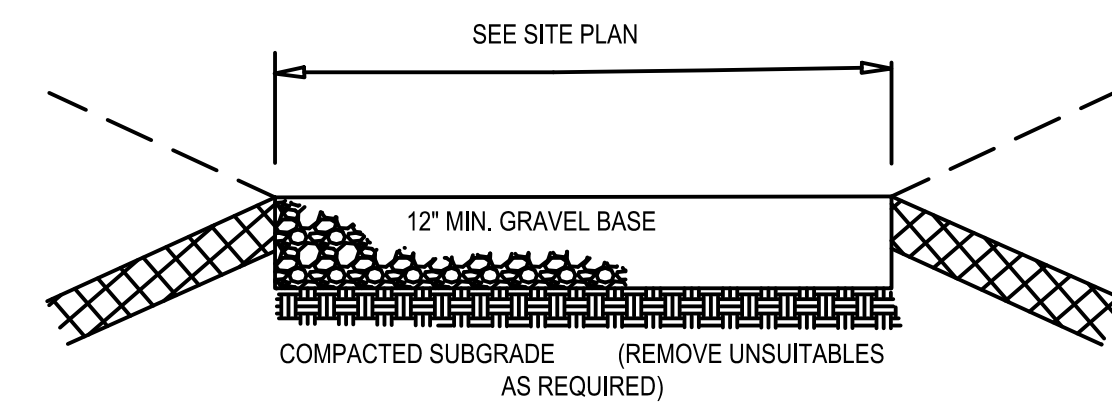
BASIS OF DESIGN: TENCATE MIRAFI BXG110 GEOGRIDS; 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA; (800) 685-9990 OR (706) 693-2226; WWW.MIRAFI.COM



3 LIMITED USE PERVIOUS ACCESS ROAD DETAIL
SCALE: N.T.S.

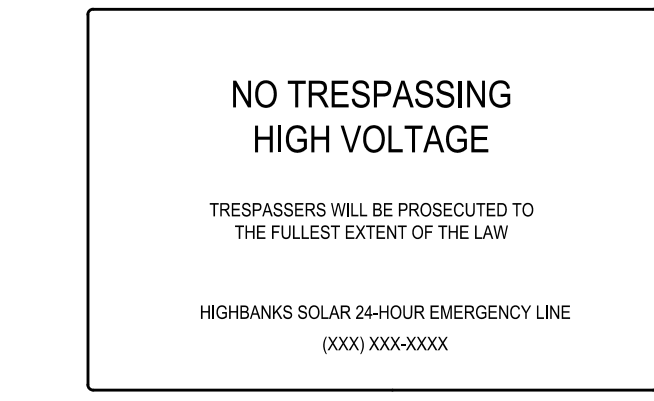


4 STORM CULVERT END SECTION DETAIL
SCALE: N.T.S.



- NOTES:
- REMOVE TOPSOIL AND ALL UNSUITABLE MATERIAL AS REQUIRED AND REPLACE WITH GRAVEL.
 - ACCESS DRIVES TO SLOPE IN THE DIRECTION OF THE EXISTING GRADE AT A MINIMUM OF 2.0% DRIVEWAY SHALL BE GRADED TO ALLOW STORMWATER TO SHEET ACROSS IT AND TO PREVENT PUDDLING.

2 GRAVEL ROAD DETAIL
SCALE: N.T.S.



NOTE: SIGNS TO BE POSTED EVERY 200' ALONG FENCE.

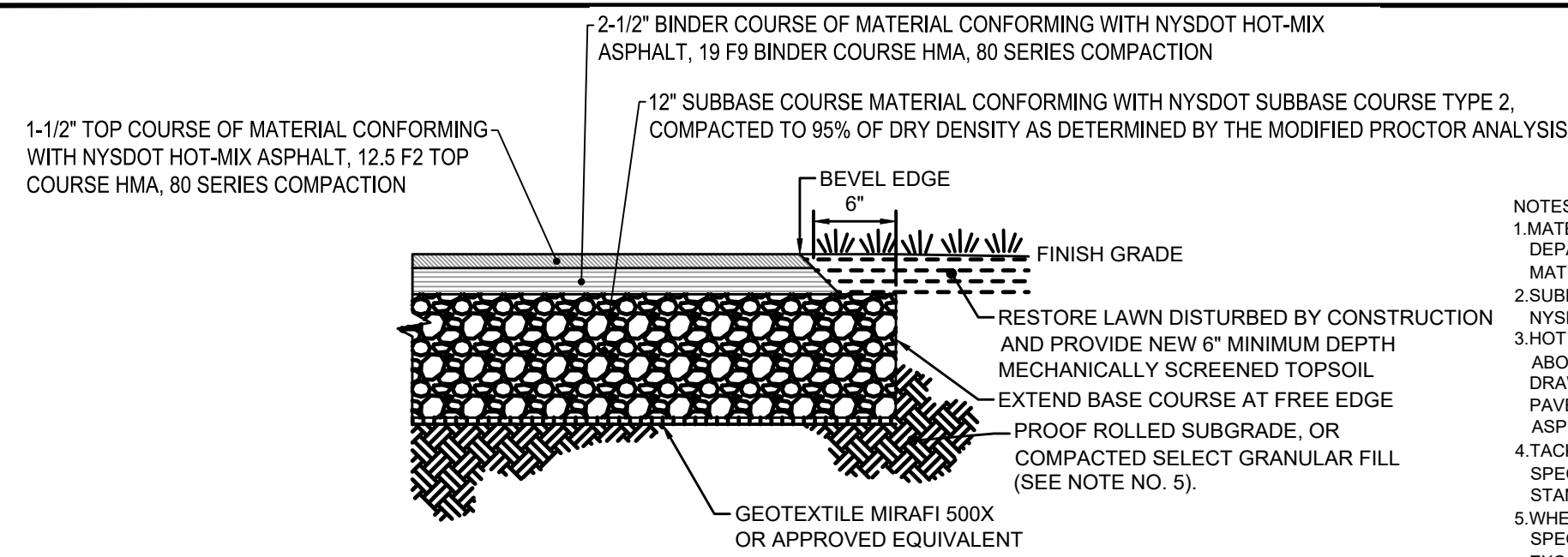
1 TRESPASSING SIGN DETAIL
SCALE: N.T.S.

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 TOWNSEND, NY 685-682-8888
 ALBANY, NY 807-788-8088 WWW.HUNT-EAS.COM
 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC2203131464-1

SITE DETAILS
HIGHBANKS SOLAR DEVELOPMENT
HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C6.0
 PROJECT NO: 3576-001



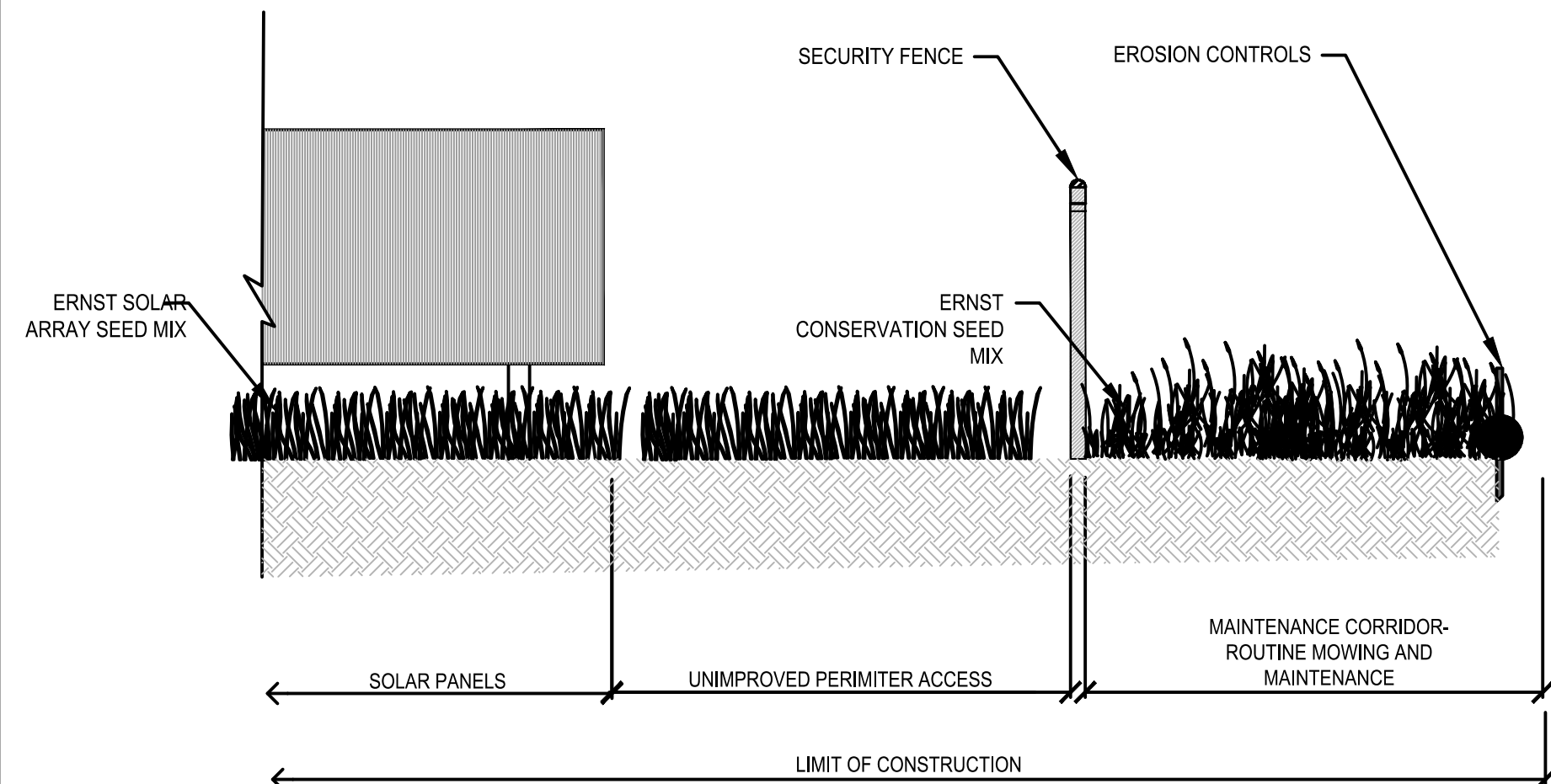
NOTES:

1. PROVIDE ADDITIONAL SUBBASE MATERIAL WHERE FILL IS REQUIRED TO OBTAIN PROPER SUBGRADE ELEVATION, OR TO REPLACE UNSUITABLE SUBGRADE MATERIAL.

6 STANDARD DUTY ASPHALT PAVEMENT SECTION

SCALE: N.T.S.

- NOTES:**
1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "CURRENT VERSION", AND ALL ADDENDA THERE TO.
 2. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
 3. HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 400-HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 400 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR THIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 402-HOT MIX ASPHALT (HMA) PAVEMENTS.
 4. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 5. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 6. RESTORE LAWN DISTURBED BY CONSTRUCTION AND PROVIDE NEW 6" MINIMUM DEPTH MECHANICALLY SCREENED TOPSOIL.

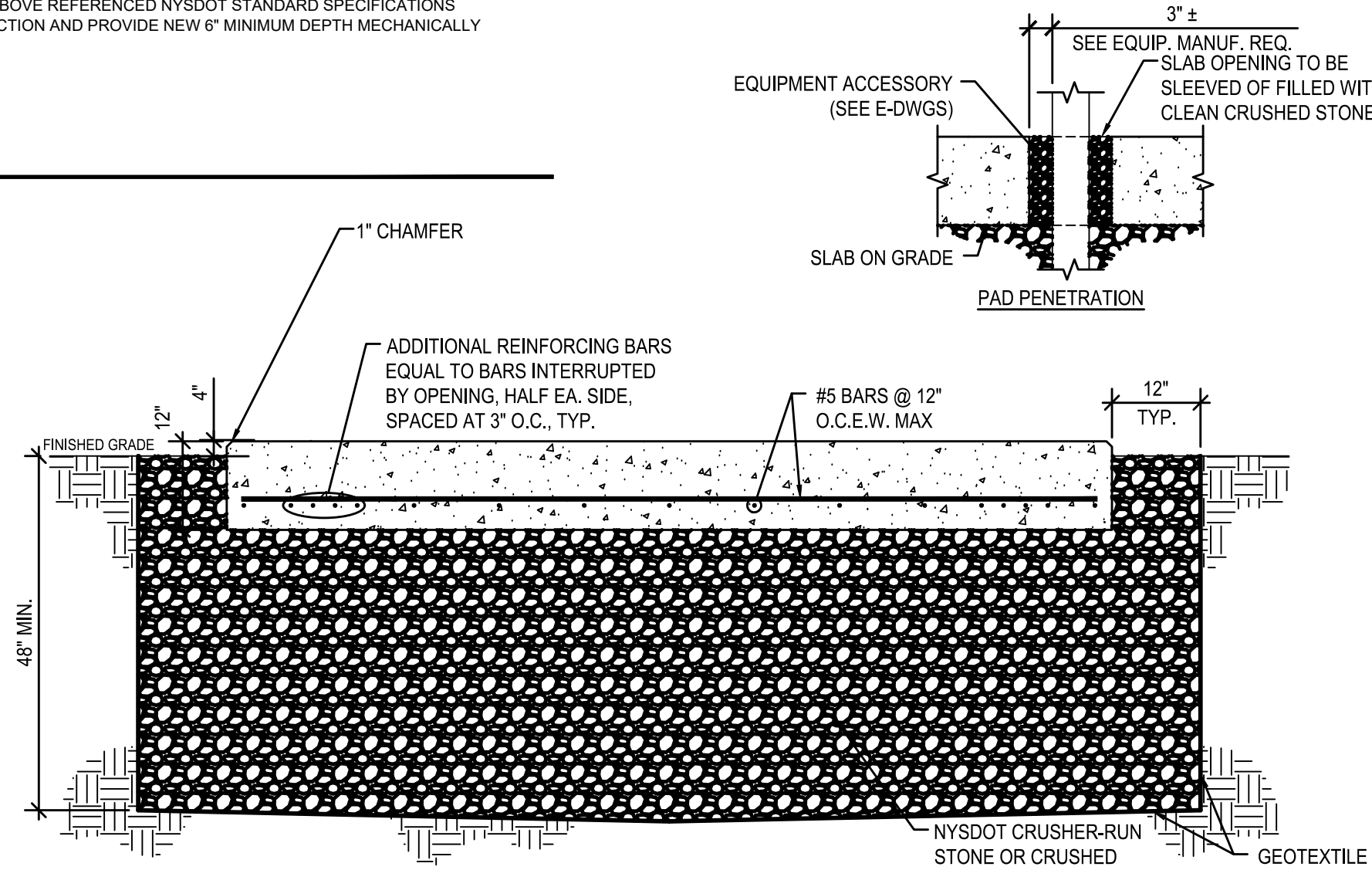


CONSTRUCTION NOTES:

- EXISTING GRASSY VEGETATION TO REMAIN INTACT AS POSSIBLE DURING CONSTRUCTION.
- SURFACE AREA(S) REMAINING INTACT AND UNDISTURBED BY CONSTRUCTION ACTIVITIES TO BE SCARIFIED TO CREATE CHANNELS FOR SEED TO SOIL CONTACT.
- AREAS DISTURBED BY CONSTRUCTION ACTIVITIES TO BE SEEDDED AS SHOWN IN TYPICAL CROSS SECTION.

4 TYPICAL SOLAR ARRAY CROSS SECTION

SCALE: N.T.S.

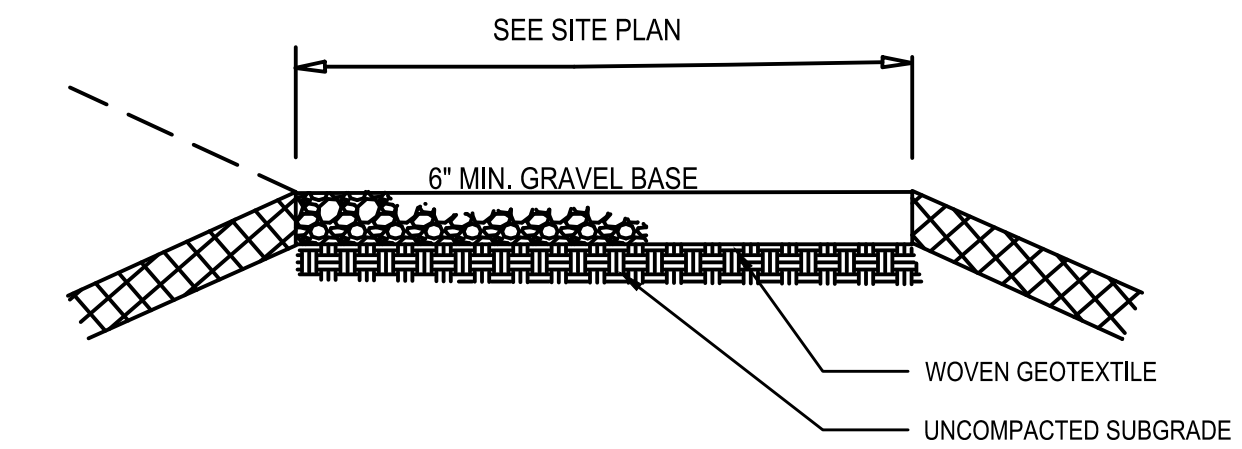


NOTE:

1. CONFIRM ALL SLAB ON GRADE DIMENSIONS WITH EQUIPMENT MANUFACTURERS. LOCATE SLAB ON GRADE PENETRATIONS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. SHOP DRAWINGS TO BE PROVIDED BASED ON APPROVED EQUIPMENT SUBMITTALS.
2. PROVIDE SLAB OPENINGS AROUND CONDUIT, PIPING ETC. FILL OPENINGS AND AROUND THESE ACCESSORIES WITH CLEAN CRUSHED STONE AFTER SLAB IS PLACED.
3. EQUIPMENT ATTACHMENT TO CONCRETE SLAB ON GRADE SHALL BE IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S SPECIFICATIONS.
4. EQUIPMENT PAD DETAILS TO BE CONSISTENT WITH NGRID STANDARD DETAILS.
5. PAD SHALL BE 4000 PSI CONCRETE. CONCRETE DESIGN SUBMITTAL TO BE APPROVED BY EOR.

3 TYPICAL EQUIPMENT PAD DETAIL

SCALE: N.T.S.



NOTES:

1. REMOVE TOPSOIL AND ALL UNSUITABLE MATERIAL AS REQUIRED AND REPLACE WITH GRAVEL AS NEEDED.
2. GRAVEL AREA TO SLOPE IN THE DIRECTION OF THE EXISTING GRADE AT A MINIMUM OF 2.0% TO ALLOW STORMWATER TO SHEET FLOW ACROSS AND TO PREVENT PONDING.

5 TEMPORARY GRAVEL LAYDOWN AREA

SCALE: N.T.S.

<p>SIGN #1</p> <p>WARNING</p> <p>ANYONE DAMAGING, VANDALIZING, OR INTERFERING WITH THE OPERATION OF THIS FACILITY IS IN VIOLATION OF TITLE 18, UNITED STATES CODE SECTION 1366 AND PUNISHABLE BY 10 YEARS IMPRISONMENT AND \$50,000 FINE.</p>	<p>SIGN #2</p> <p>DANGER</p> <p>HIGH VOLTAGE. KEEP OUT</p>	<p>SIGN #3</p> <p>WARNING</p> <p>THESE FACILITIES ARE MONITORED BY VIDEO & ELECTRONIC SECURITY EQUIPMENT</p>
<p>SIGN #4</p> <p>NOTICE</p> <p>IN CASE OF EMERGENCY CALL TBD</p>	<p>SIGN #5</p> <p>HIGHBANKS SOLAR, LLC</p> <p>2449 HIGHBANKS ROAD LEICESTER, NY 14481</p>	<p>SIGN #6</p> <p>NO TRESSPASSING</p> <p>PRIVATE PROPERTY. VIOLATORS WILL BE PROSECUTED UNDER AUTHORITY OF THE STATE OF (STATE) PENAL LAW SECTION (STATUTE NUMBER)</p>

NOTES:

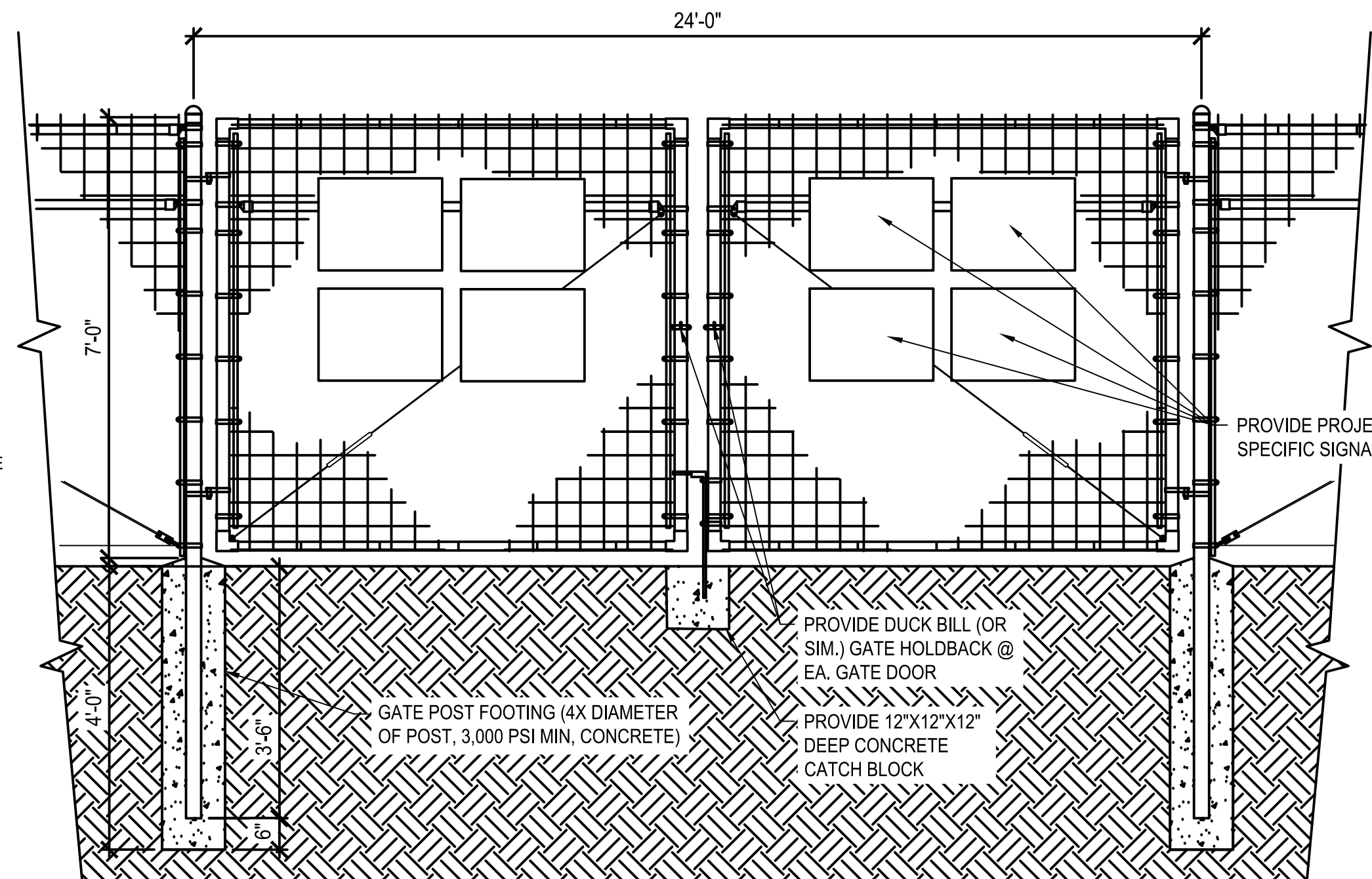
1. SIGNS MUST HAVE 1" CORNER RADIUS
2. SIGNS MUST HAVE PRE-DRILLED 1/8" HOLES AT EDGES.
3. SIGNS MUST BE MADE FROM UV RESISTANT PLASTIC, GALVANIZED LIGHT GAUGE STEEL, ALUMINUM, OR HIGH GRADE FIBERGLASS RATED FOR WEATHER EXPOSURE.
4. SIGNS MUST BE ATTACHED TO FENCE WITH STAINLESS STEEL CABLE TIES, 304 GRADE STAINLESS STEEL REBAR TIES, OR STAINLESS STEEL OR PLASTIC FENCE BRACKETS.
5. SIGNS #1, 2, 3, 4, & 6 SHALL BE PLACED ALONG PERIMETER FENCE EVERY 300- FEET.
6. SIGNS #1, 2, 3, 4, 5, & 6, SHALL BE PLACED AT THE VEHICLE GATE.
7. SIGN #4 SHALL BE 24"x36". ALL OTHERS SHALL BE 18"x24".

2 TYPICAL FENCE AND GATE SIGNAGE

SCALE: N.T.S.

FENCE & GATE NOTES:

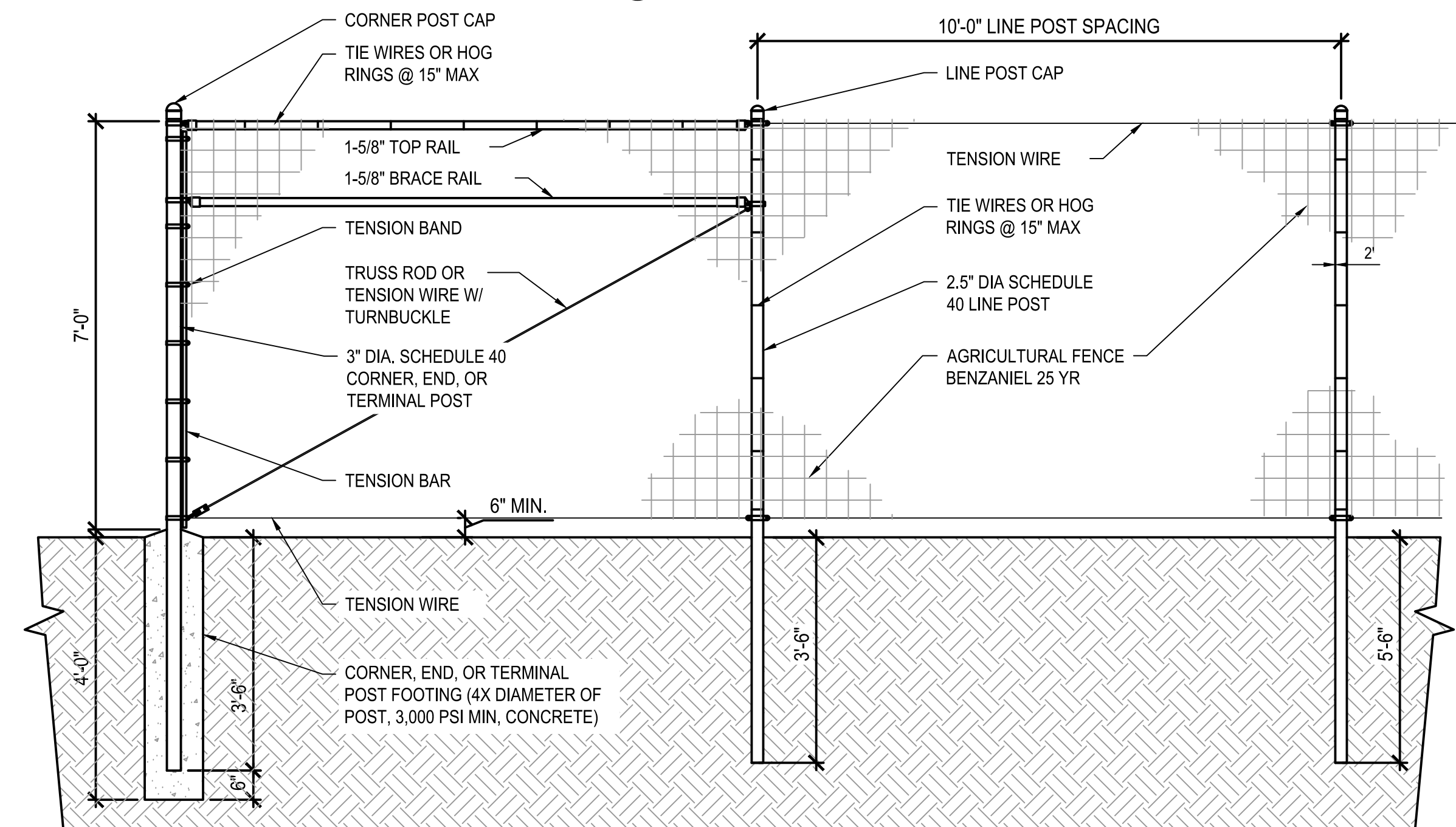
1. FENCING MATERIAL SHALL 25 YEAR WELDED WIRE AGRICULTURAL FENCE OR ENGINEER APPROVED EQUAL W/ 6" X 8" CREATURE ACCESS HOLES ALONG THE BOTTOM 12"
2. SIZE AND DIMENSIONS OF THE FENCE AND GATE COMPONENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE CHAIN-LINK FENCE MANUFACTURER SPECIFICATIONS UNLESS OTHERWISE NOTED ON THIS DRAWING. TOP RAIL OR TENSION WIRE MAY BE USED BASED ON MANUFACTURER SPECIFICATIONS.
3. GROUNDING AND BONDING OF THE SECURITY FENCE SYSTEM SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC), AND ALL OTHER APPLICABLE STATE AND LOCAL CODE REQUIREMENTS.
4. DOUBLE SWING GATE TO OPEN INWARD, TOWARD SECURED AREA AS SHOWN ON THE SITE PLAN.
5. INSTALL WIRE TIES, RAILS, POSTS, AND BRACES ON THE SECURE SIDE OF THE FENCE ALIGNMENT. PLACE CHAIN-LINK FABRIC ON THE OPPOSITE SIDE OF THE SECURE AREA.
6. EXCEPT AS INDICATED IN NOTE 6, POSTS ARE TO BE DIRECTLY DRIVEN WITHOUT A CONCRETE FOOTING. LINE POSTS SHALL BE INSTALLED PER APPLICABLE CODES AND CHAIN-LINK FENCE MANUFACTURER SPECIFICATIONS.
7. CORNER, END, TERMINAL, AND GATE POSTS SHALL HAVE CONCRETE FOOTINGS DESIGNED AND INSTALLED PER APPLICABLE CODES AND CHAIN-LINK FENCE MANUFACTURER SPECIFICATIONS.
8. POSTS IN DELINEATED WETLANDS MUST BE DIRECTLY DRIVEN WITHOUT A CONCRETE FOOTING.
9. FENCE INSTALLER MUST REVIEW ELECTRICAL PLANS TO UNDERSTAND DC & AC CABLE ROUTING. NOTING ANY CABLES IN PROXIMITY TO THE FENCE. COORDINATE WITH ELECTRICAL CONTRACTOR TO ENSURE FENCE POSTS DO NOT CONFLICT WITH CABLE ROUTING.
10. SIGNAGE SHALL BE AS REQUIRED BY CODE WITH DETAILS INCLUDING FACILITY NAME, OWNER, AND CONTACT PHONE NUMBER. WARNING SIGNAGE TO BE PLACED AT BASE OF ALL PAD-MOUNTED TRANSFORMERS AND ACCESS GATES.
11. INSTALL PERIMETER FENCE WARNING SIGNS IN ACCORDANCE WITH NEC 110.21(B).



TYPICAL VEHICLE GATE

PERIMETER FENCING NOTES:

1. WARNING SIGNS WITH THE OWNER'S CONTACT INFORMATION SHALL BE PLACED ON THE ENTRANCE AND PERIMETER OF THE FENCING
2. PROVIDE LOCKING LATCH WITH FIRE DEPARTMENT PROVIDED KNOX BOX.
3. PROVIDE LATCHING TO HOLD GATES IN OPEN POSITIONS.
4. IF ROCK IS ENCOUNTERED WHEN SETTING POSTS, DRILL HOLES LARGER IN DIAMETER THAT THE FENCE POST AND BACKFILL TO GRADE WITH CLASS "B" CONCRETE.



TYPICAL PERIMETER FENCE

1 PERIMETER FENCE WITH GATES DETAIL

SCALE: N.T.S.

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 NY CERTIFICATE NO. 0018220 PA CERTIFICATE NO. TSC22203131464-1

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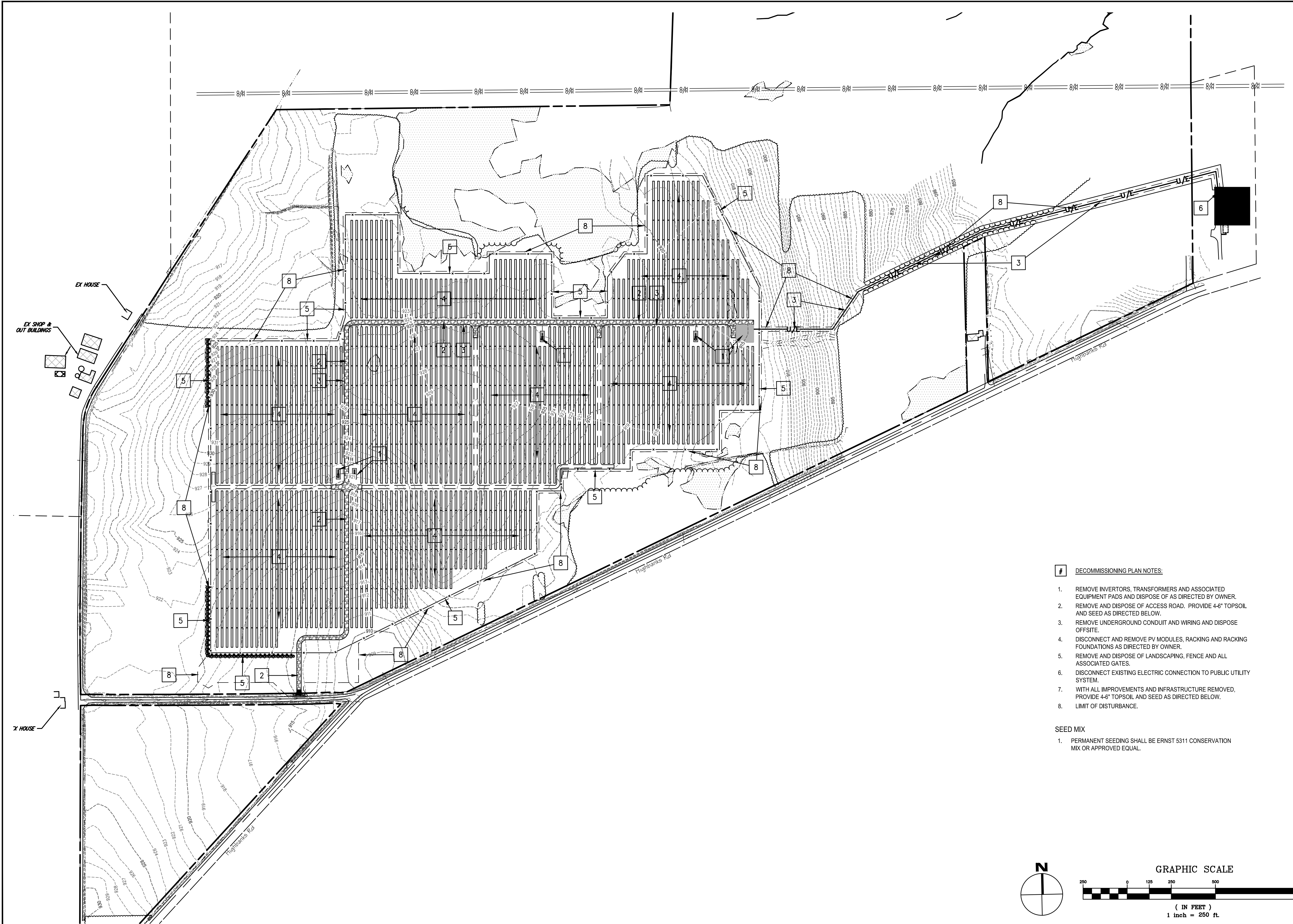
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HIGHBANKS SOLAR, LLC

2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

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PROJECT NO: 3576-001

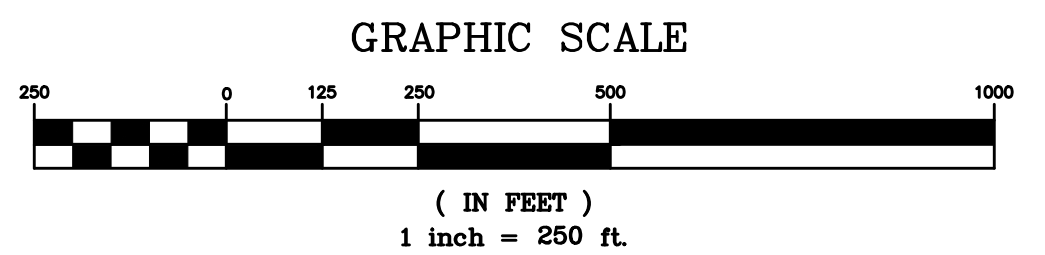
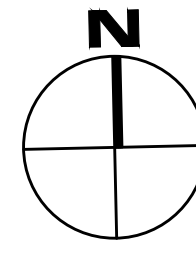


DECOMMISSIONING PLAN NOTES:

1. REMOVE INVERTORS, TRANSFORMERS AND ASSOCIATED EQUIPMENT PADS AND DISPOSE OF AS DIRECTED BY OWNER.
2. REMOVE AND DISPOSE OF ACCESS ROAD. PROVIDE 4-6" TOPSOIL AND SEED AS DIRECTED BELOW.
3. REMOVE UNDERGROUND CONDUIT AND WIRING AND DISPOSE OFFSITE.
4. DISCONNECT AND REMOVE PV MODULES, RACKING AND RACKING FOUNDATIONS AS DIRECTED BY OWNER.
5. REMOVE AND DISPOSE OF LANDSCAPING, FENCE AND ALL ASSOCIATED GATES.
6. DISCONNECT EXISTING ELECTRIC CONNECTION TO PUBLIC UTILITY SYSTEM.
7. WITH ALL IMPROVEMENTS AND INFRASTRUCTURE REMOVED, PROVIDE 4-6" TOPSOIL AND SEED AS DIRECTED BELOW.
8. LIMIT OF DISTURBANCE.

SEED MIX

1. PERMANENT SEEDING SHALL BE ERNST 5311 CONSERVATION MIX OR APPROVED EQUAL.



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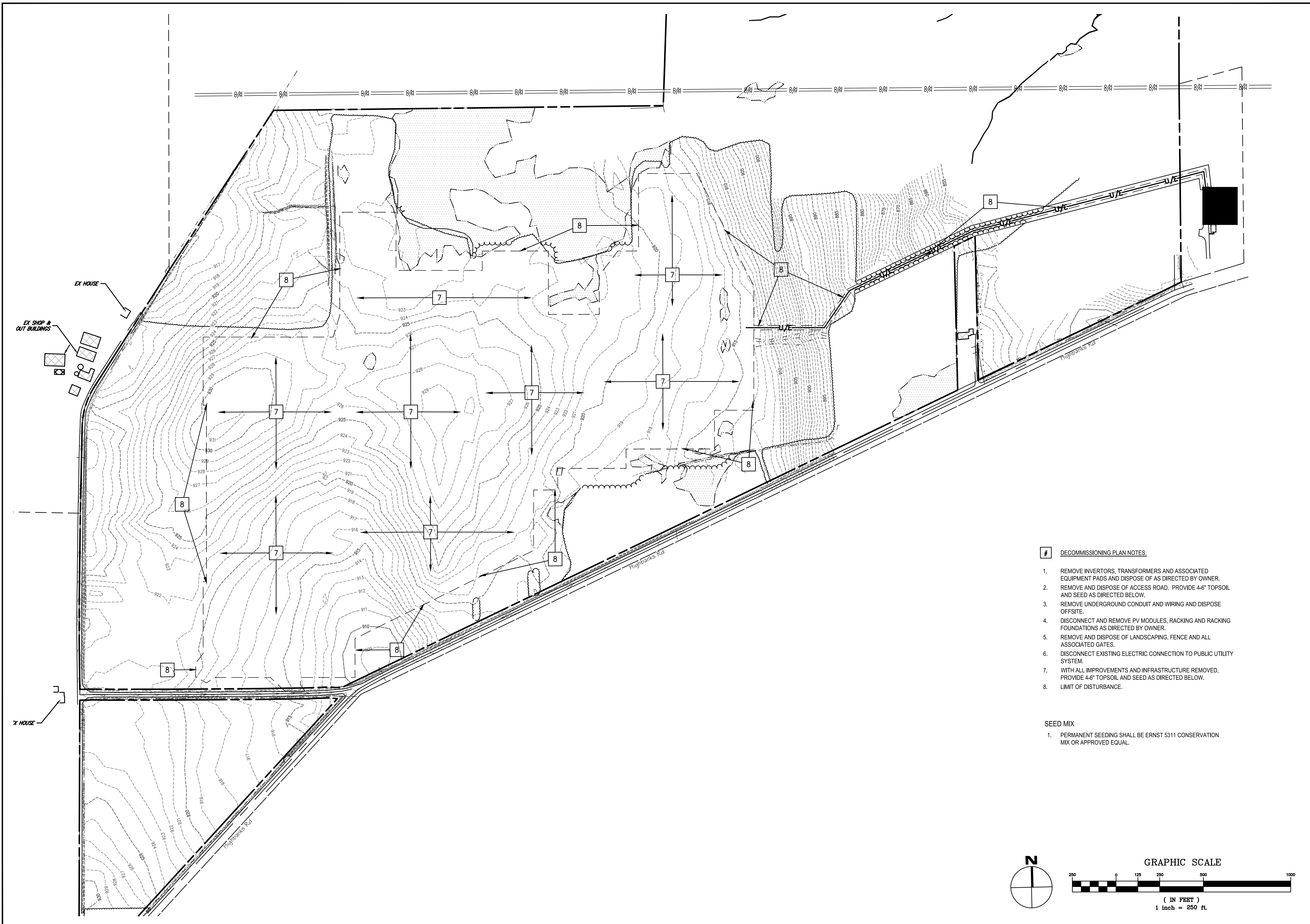
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DECOMMISSIONING PLAN
 HIGHBANKS SOLAR DEVELOPMENT
 HIGHBANKS SOLAR, LLC
 2449 HIGHBANKS ROAD, TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK

C7.0
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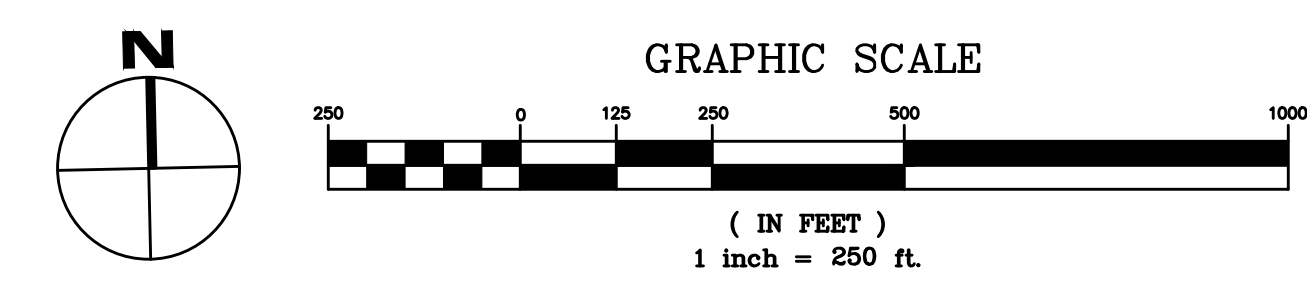
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IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO MAKE UNAUTHORIZED ALTERATIONS OR ADDITIONS TO PLANS BEARING A LICENSED ENGINEER, ARCHITECTS OR SURVEYORS SEAL.



- # DECOMMISSIONING PLAN NOTES:**
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